Site Plans

Issued for

Date Issued Latest Issue

Site Plan Review June 15, 2018 September 21, 2018

The Summit at Forts Ferry

33 & 45 Forts Ferry Road Colonie, NY 12110

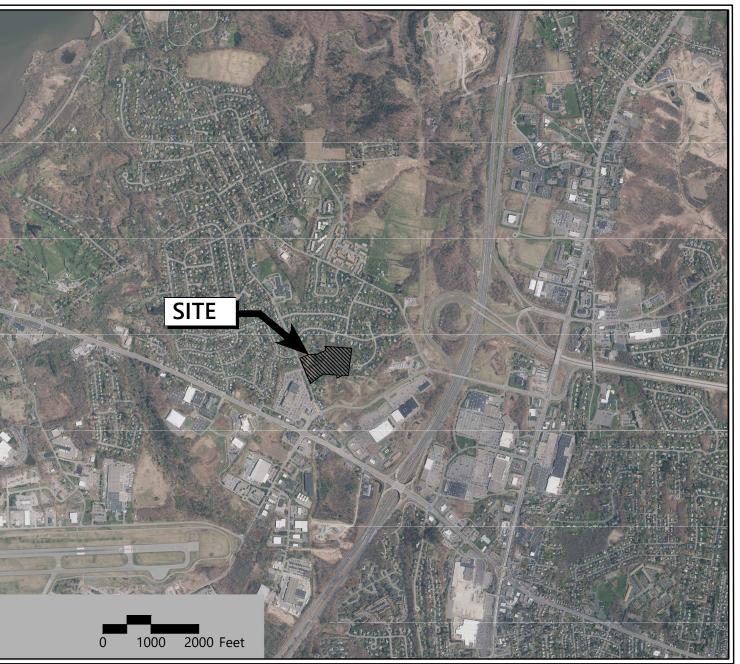
Owner

Nigro Group, LLC 18 Computer Drive East, Suite 107 Albany, Ny 12205

Applicant

Nigro Group, LLC 18 Computer Drive East, Suite 107 Albany, Ny 12205

Assessor's Map: 19.1-Lot: 1-28.1 & 1-27.2



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Engineering, Surveying & Landscape Architecture, PC 100 Great Oaks Boulevard Suite 118 Albany, NY 12203 518.389.3600

<u>WAIVERS:</u> MAXIMUM FRONT YARD SETBACK OF 20 FEET. PROPOSING A FRONT YARD SETBACK OF 100 FEET TO THE FRONT BUILDING.

TOWN OF COLONIE PLANNING BOARD



29466.00 Review 9/21/201 VHB Project Issued for :

\\vhb\proj\Albany\29466.00 Forts Ferry\cad\ld\Planset\29466.00-I G.dwa .

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK	<u>52Un052U</u>		CONSTRUCTION EXIT
				D% % O% % d	
10+00	10+00	PARKING SETBACK BASELINE	27.35 TC \times	27.35 TC×	TOP OF CURB ELEVATION
			26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
			132.75 ×	132.75 ×	SPOT ELEVATION
			45.0 TW 38.5 BW×	45.0 TW 38.5 BW	TOP & BOTTOM OF WALL ELEVATIO
		TOWN LINE	-	\bullet	BORING LOCATION
		LIMIT OF DISTURBANCE			TEST PIT LOCATION
<u>Δ</u>		WETLAND LINE WITH FLAG	● ^{MW}	^{MW} ^{MW} ^{MW}	MONITORING WELL
		FLOODPLAIN			
		BORDERING LAND SUBJECT		UD	UNDERDRAIN
BLSF		TO FLOODING	12"D	12″D►	DRAIN
BZ		WETLAND BUFFER ZONE		<u>6″RD</u> →	ROOF DRAIN
NDZ		NO DISTURB ZONE	12"S	1 <u>2</u> "S	SEWER
200'RA		200' RIVERFRONT AREA	FM	F <u>M</u>	FORCE MAIN
			- OHW	OHW	OVERHEAD WIRE
		GRAVEL ROAD	6"W	——6"W——	WATER
<u>EOP</u>	EOP	EDGE OF PAVEMENT	4"FP	4"FP	FIRE PROTECTION
BB	BB	BITUMINOUS BERM		2"DW	DOMESTIC WATER
BC	BC	BITUMINOUS CURB	3"G	G	GAS
CC	CC	CONCRETE CURB	E	———E———	ELECTRIC
	CG	CURB AND GUTTER	STM	STM	STEAM
CC	ECC	EXTRUDED CONCRETE CURB	T	T	TELEPHONE
CC	мсс	MONOLITHIC CONCRETE CURB	——FA	FA	FIRE ALARM
CC	PCC	PRECAST CONC. CURB	CATV	CATV	CABLE TV
SGE	SGE	SLOPED GRAN. EDGING			
VGC	VGC	VERT. GRAN. CURB		III	CATCH BASIN
		LIMIT OF CURB TYPE			DOUBLE CATCH BASIN
		SAWCUT		===	GUTTER INLET
		SAWCUT	D	•	DRAIN MANHOLE
(1//////			=TD=		TRENCH DRAIN
		BUILDING	Ľ	Ľ	PLUG OR CAP
		BUILDING ENTRANCE	CO	¢0	CLEANOUT
		LOADING DOCK		►	FLARED END SECTION
0	•	BOLLARD		\checkmark	HEADWALL
D	D	DUMPSTER PAD			
-0-	-	SIGN	S	•	SEWER MANHOLE
	-	DOUBLE SIGN	CS	CS	CURB STOP & BOX
			- WV	wv •	WATER VALVE & BOX
<u>T</u> T	I	STEEL GUARDRAIL	TSV	TSV	TAPPING SLEEVE, VALVE & BOX
		WOOD GUARDRAIL		> 	SIAMESE CONNECTION
			HYD ©	HYD O	
\sim	= $=$ $=$ $=$	РАТН	WM	WM	
$\sim \sim \sim$	\mathcal{M}	TREE LINE	PIV	PIV	WATER METER
~~~~	- x x	WIRE FENCE		-	
-00	• •	FENCE		(()	WATER WELL
		STOCKADE FENCE	GG	GG	GAS GATE
∞	$\infty \infty \infty \infty$	STONE WALL	GM ⊡	GM ⊡	GAS METER
		RETAINING WALL	E	EMH	ELECTRIC MANHOLE
	<u> </u>	STREAM / POND / WATER COURSE	EM	EM	
·		DETENTION BASIN			ELECTRIC METER
		HAY BALES	¢	× TVII	LIGHT POLE
×	×	SILT FENCE	()	● ^{™H}	TELEPHONE MANHOLE
· <:::::> ·	· c:::::> ·	SILT SOCK / STRAW WATTLE	T	T	TRANSFORMER PAD
4	A		-0-	-	
1				T	UTILITY POLE
— — 20— —	20	MAJOR CONTOUR	-	•	GUY POLE
(10)	(10)	PARKING COUNT	⊥ HH	Ц Ш	GUY WIRE & ANCHOR
	©10	COMPACT PARKING STALLS	•		HAND HOLE
DYL	DYL	DOUBLE YELLOW LINE	PB ⊡	PB ⊡	PULL BOX
SL	SL		Mət	chline	
		STOP LINE		<u> </u>	MATCHLINE
		CROSSWALK			
		ACCESSIBLE CURB RAMP			

ACCESSIBLE PARKING VAN-ACCESSIBLE PARKING

Abbreviations

General

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
тур	TYPICAL

Utility

TYPICAL

TYP

СВ	CATCH BASIN
СМР	CORRUGATED METAL PIPE
СО	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
НН	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

General

- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 4 INCHES LOAM AND SEED.
- 5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
- 6. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- 7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- 14. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE SPDES CONSTRUCTION GENERAL PERMIT (GP-0-015-002) PROGRAM AND NYSDEC (MS4) JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A NOTICE OF INTENT WITH THE NYSDEC AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE SPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE NYSDEC.

Utilities

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- 2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
 - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
 - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- 5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.), FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- 6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN: A. WATER PIPES SHALL BE DUCTILE IRON PIPE
 - B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
 - C. STORM DRAINAGE PIPES SHALL BE HDPE
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- 9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE CONCRETE WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS. 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- 6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO

Demolition

Notes

- WORK.

Erosion Control

- TO PREVENT EROSION.

Existing Conditions Information

- 2015.
- SUB-METER ACCURACY.

Document Use

FEATURES

- STANDARDS.
- STANDARDS.
- RELATED TO THE SITE.

DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.

2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.

3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE

5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.

CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.

CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.

4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED

5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY GERALD R. GRAY NYSPLS. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY GERALD R. GRAY NYSPLS, DURING AUGUST

A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY: VHB B. FLAGS MARKING THE WETLANDS WERE LOCATED BY: VHB, HANDHELD GPS TRIMBLE UNIT WITH

2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NGVD 1929.

3. GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM VHB.

1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB, ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.

2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT

.Town of Colonie Standard Notes

1. THE APPLICANT SHALL COMPLY WITH ALL APPLICABLE FEDERAL. STATE, AND LOCAL LAWS, RULES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO THE STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR), FRESHWATER WETLANDS PERMIT REGULATIONS, THE TOWN GRADING LAW, AND THE TOWN FLOOD PLAINS MANAGEMENT.

2. THE APPLICANT SHALL BEAR THE SOLE RESPONSIBILITY FOR ENSURING THAT ALL IMPROVEMENTS ARE COMPLETED AND MAINTAINED IN ACCORDANCE WITH APPROVED PLANS, SPECIFICATIONS, AND

3. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS ARE COMPLETED AND MAINTAINED IN ACCORDANCE WITH APPROVED PLANS, SPECIFICATIONS, AND

4. THE APPLICANT SHALL BE RESPONSIBLE FOR KEEPING EXISTING PUBLIC HIGHWAYS AND ADJACENT LANDS FREE OF DEBRIS, SOIL, AND OTHER MATTER WHICH MAY ACCUMULATE DUE TO CONSTRUCTION

5. ALL SITE LIGHTING SHALL BE DESIGNED AND INSTALLED SO AS NOT TO ILLUMINATE ADJACENT PROPERTIES OR HIGHWAYS.

ALL PLANT MATERIALS INSTALLED PURSUANT TO THIS SITE DEVELOPMENT PLAN SHALL CONFORM TO THE AMERICAN NURSERY STOCK (ANSI Z60.1-1986) OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT RECOGNIZED STANDARD, AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE.

NO PORTION OF THE SITE SHALL BE USED FOR STORAGE OR DISPLAY OF ANY PRODUCT OR MATERIAL, OR PARKING OF ANY VEHICLES, OR FOR THE CONDUCT OF ANY OTHER BUSINESS OPERATIONS, UNLESS SPECIFICALLY DESIGNATED FOR SUCH USE ON THIS SITE DEVELOPMENT PLAN.

8. ALL REQUIRED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE NY STATE STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

The Summit at **Forts Ferry**

33 & 45 Forts Ferry Road Colonie, New York

No.	Revision	Date	Appvd.	
1.	TOWN REVIEW COMMENTS	9/21/2018	PM	
Design	ed by	Checked by		
	CG	F	M	
Issued	for	Date		
Sit	e Plan Review	June 15, 20		

Not Approved for Construction

Legend and **General Notes**



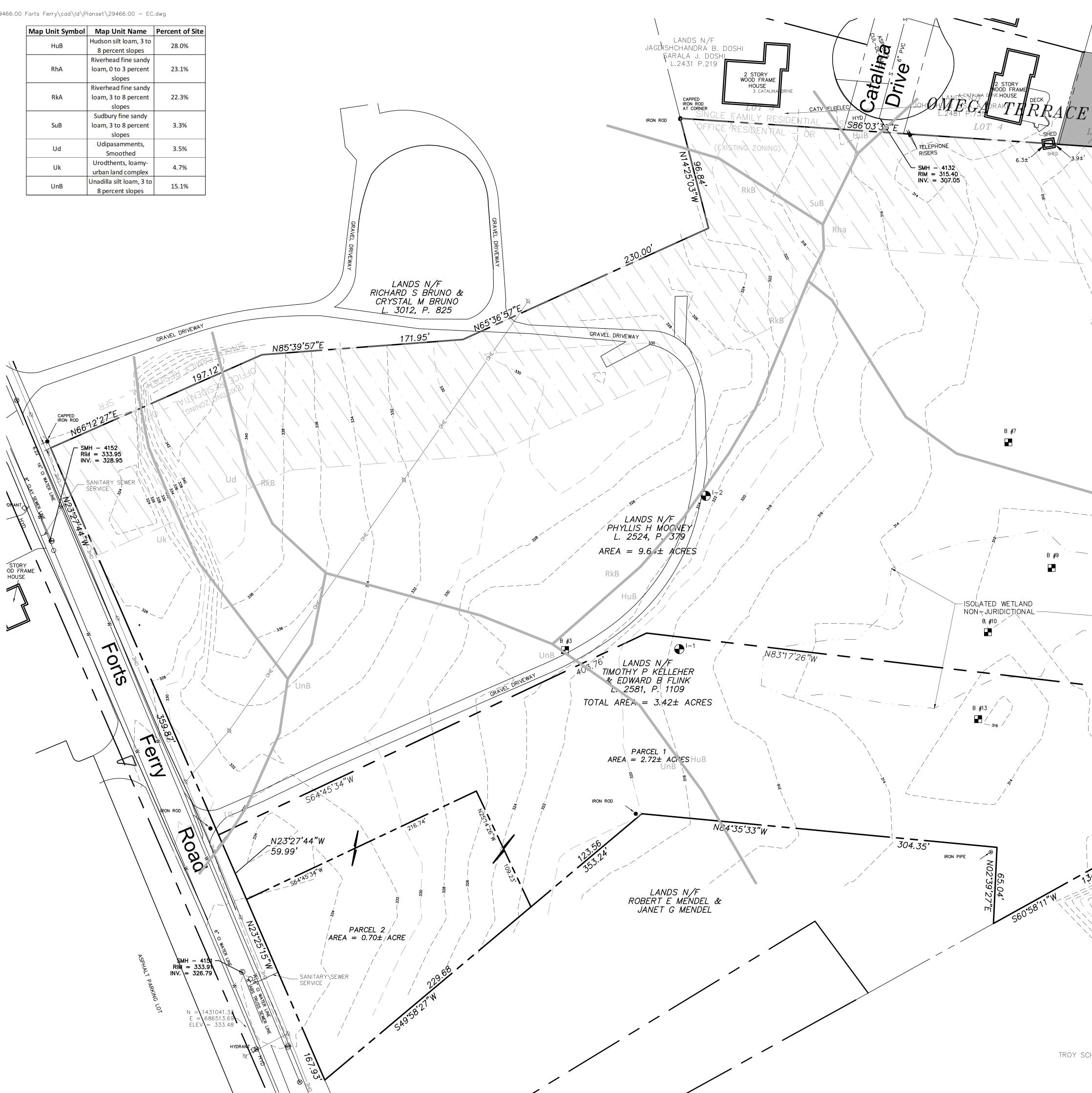


Engineering, Surveying & Landscape Architecture, PC 100 Great Oaks Boulevard Suite 118 Albany, NY 12203 518.389.3600

> Project Numbe 29466.00

Drawing Number

Map Unit Symbol	Map Unit Name	Percent of Site	
HuB	Hudson silt loam, 3 to	28.00/	
пив	8 percent slopes	28.0%	
	Riverhead fine sandy		
RhA	loam, 0 to 3 percent	23.1%	
	slopes		
	Riverhead fine sandy		
RkA	loam, 3 to 8 percent	22.3%	
	slopes		
	Sudbury fine sandy		
SuB	loam, 3 to 8 percent	3.3%	
	slopes		
Ud	Udipasamments,	2 50/	
Ud	Smoothed	3.5%	
Uk	Urodthents, loamy-	4.7%	
UK	urban land complex	4.7%	
LinD	Unadilla silt loam, 3 to	15 10/	
UnB	8 percent slopes	15.1%	



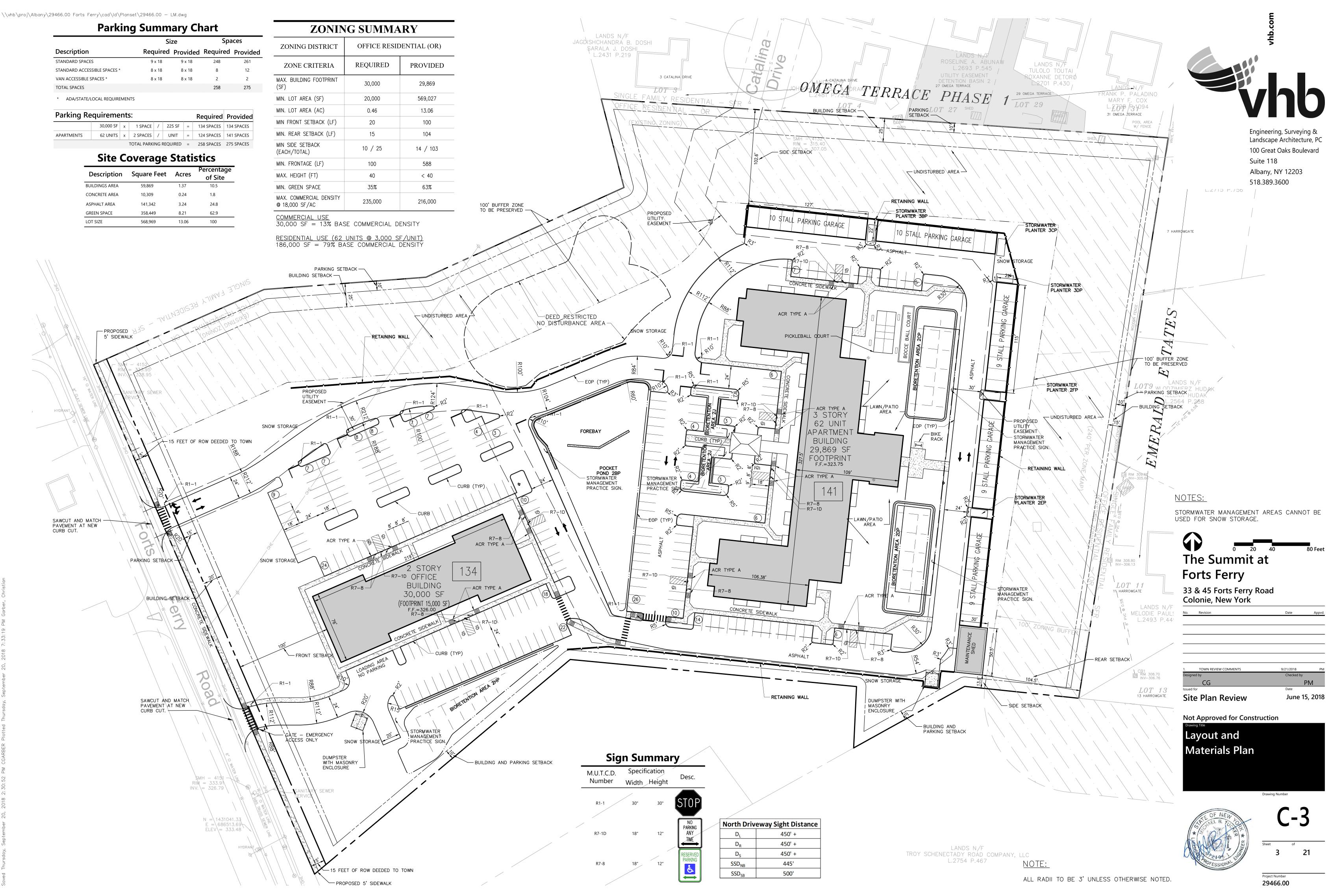
2 STORY WOOD FRAME HOUSE	vhb.com
LANDS N/F ROSELINE A. ABUNAW L.2693 P.545 UTILITY EASEMENT DETENTION BASIN 2 / 27 OMEGA TERRACE DT 27 SHED 001.48' POLLARCA POLLARCA SHED POLLARCA POLLARC	Kandscape Architecture, PC No Great Oaks Boulevard Suite 118 Albany, NY 12203 518.389.3600
€ ¹⁻³ SD SD SD SD SD SD SD SD SD SD SD SD SD	Borings B #3 0-1.5' +/- 18" shale over brown fine to coarse sand, little gravel and silt (moist and firm) Light brown silt, moist, grades light brown silt and l.5'-10' Light brown silt, moist, grades light brown silt and clay, moist (moist, firm/medium) Groundwater
Rha HuB	elev. = 312'B #70-5'Light gray/brown mottled silt and clay (moist to wet, soft)5'-10'Gray silt, wet, grades some fine sand (wet, compact to loose) No Groundwater at elev. = 296'B #9-6'0-6'+/- 8" topsoil over gray/brown mottled silt and clay (moist, very soft), brown to gray silt (wet)6'-8'Gray gavel, some sand, little silt (wet, firm) No Groundwater at elev. = 294'B #10-5'0-5'+/- 8" topsoil over light brown/gray mottled silt, some clay (moist to wet, very soft)5'-10'Brown fine sand, little silt, wet (wet, loose) Groundwater elev. = 310'
30- TREE HOUSE 558.62'	B #13 0-5' +/- topsoil over light brow silt, little sand and gravel (moist to wet) 5'-10' Gray fine sand and silt (wet, firm) Groundwater elev. = 314' 0 20 40 80 Feet The Summit at
312 312 312 312 312 312 312 312	Orts Ferry Road B & 45 Forts Ferry Road Joine, New York Revision Date Appvd. Series Appvd. TOWN REVIEW COMMENTS 9/21/2018 Migned by Checked by CG PM et or Date
13 HARROWGATE SI 13 HARROWGATE SI 14 HARROWGAT	The Plan Review June 15, 2018 of Approved for Construction wing Title Stisting Conditions Plan Drawing Number
LANDS N/F SCHENECTADY ROAD COMPANY, LLC L.2754 P.467 LANDS N/F	G-2 Sheet of 2 21 Project Number 29466.00

	Si	ze	Spaces	
Description	Required	Provided	Required	Provided
STANDARD SPACES	9 x 18	9 x 18	248	261
STANDARD ACCESSIBLE SPACES *	8 x 18	8 x 18	8	12
VAN ACCESSIBLE SPACES *	8 x 18	8 x 18	2	2
TOTAL SPACES			258	275
* ADA/STATE/LOCAL REQUIREMENTS				

	30,000 SF	x	1 SPACE	/	225 SF	=	134 SPACES	134 SPACES
APARTMENTS	62 UNITS	x	2 SPACES	1	UNIT	=	124 SPACES	141 SPACES
TOTAL PARKING REQUIRED = 258 SPACES 275 SPACES								

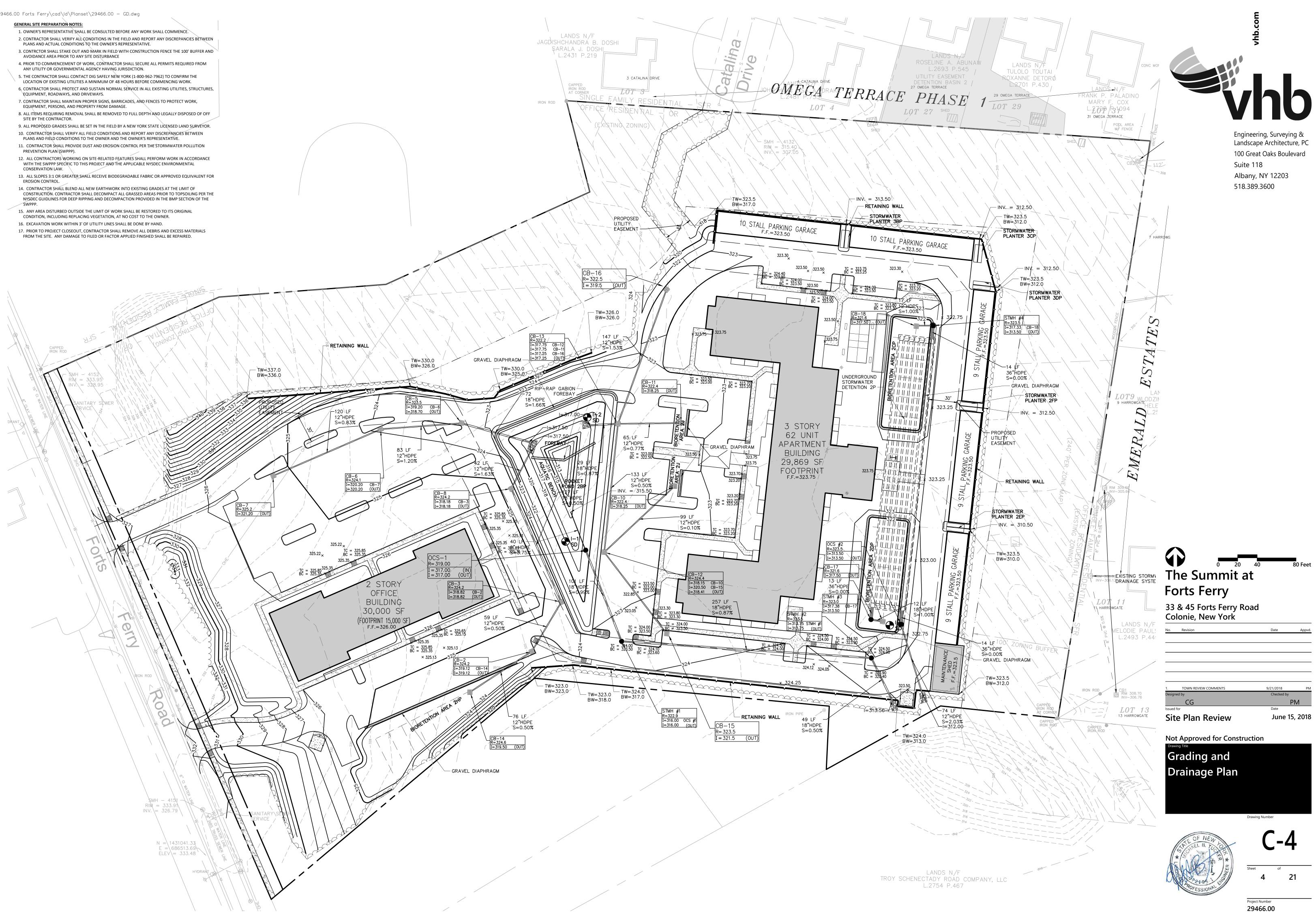
Description	Square Feet	Acres	Percentage of Site
BUILDINGS AREA	59,869	1.37	10.5
CONCRETE AREA	10,309	0.24	1.8
ASPHALT AREA	141,342	3.24	24.8
GREEN SPACE	358,449	8.21	62.9
LOT SIZE	568,969	13.06	100

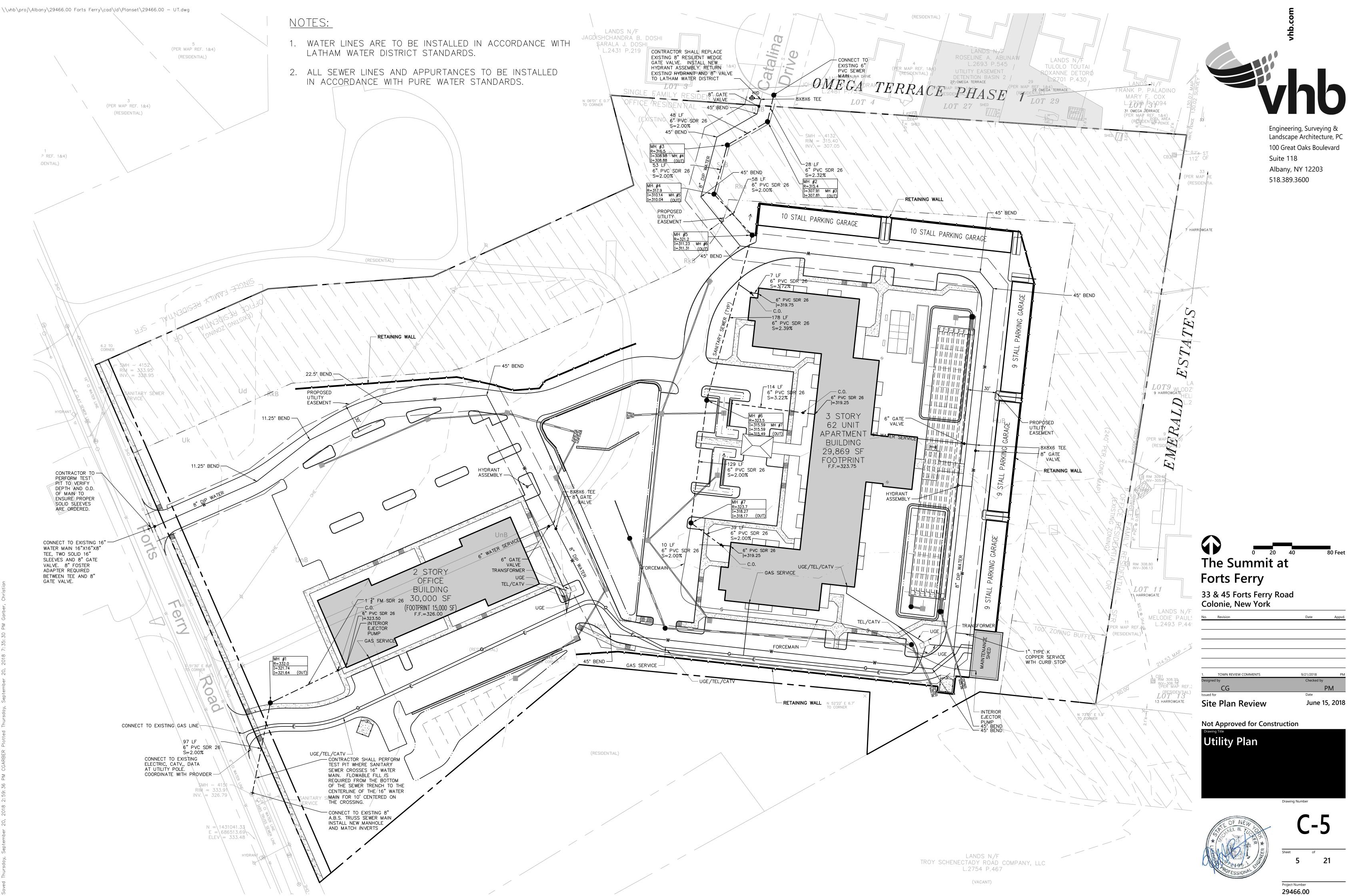
ZONING DISTRICT	OFFICE RESID	DENTIAL (OR)
ZONE CRITERIA	REQUIRED	PROVIDED
MAX. BUILDING FOOTPRINT (SF)	30,000	29,869
MIN. LOT AREA (SF)	20,000	569,027
MIN. LOT AREA (AC)	0.46	13.06
MIN FRONT SETBACK (LF)	20	100
MIN. REAR SETBACK (LF)	15	104
MIN SIDE SETBACK (EACH/TOTAL)	10 / 25	14 / 103
MIN. FRONTAGE (LF)	100	588
MAX. HEIGHT (FT)	40	< 40
MIN. GREEN SPACE	35%	63%
MAX. COMMERCIAL DENSITY @ 18,000 SF/AC	235,000	216,000

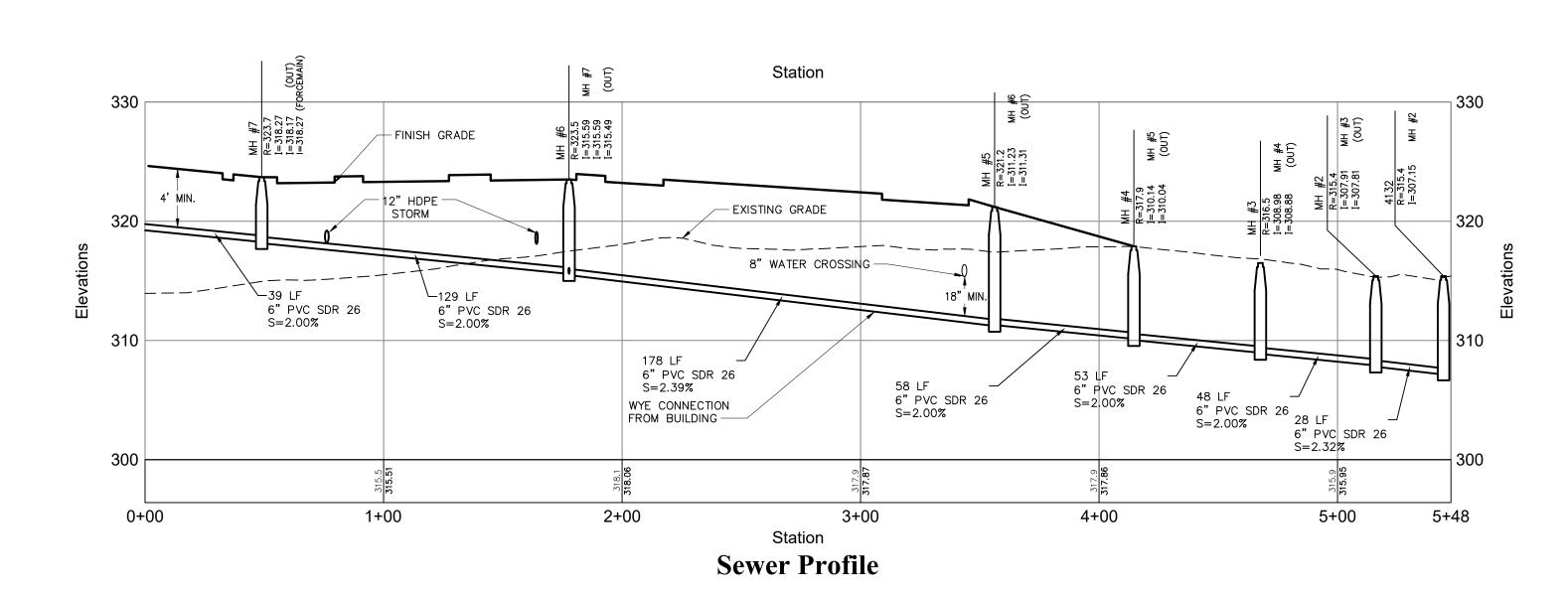


- LOCATION OF EXISTING UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING WORK.
- EQUIPMENT, ROADWAYS, AND DRIVEWAYS.

- PLANS AND FIELD CONDITIONS TO THE OWNER AND THE OWNER'S REPRESENTATIVE.
- PREVENTION PLAN (SWPPP).
- WITH THE SWPPP SPECIFIC TO THIS PROJECT AND THE APPLICABLE NYSDEC ENVIRONMENTAL CONSERVATION LAW.
- EROSION CONTROL.
- NYSDEC GUIDLINES FOR DEEP RIPPING AND DECOMPACTION PROVIDED IN THE BMP SECTION OF THE SWPPP.







HORIZONTAL

VERTICAL SCALE IN FEET

 \cap

50

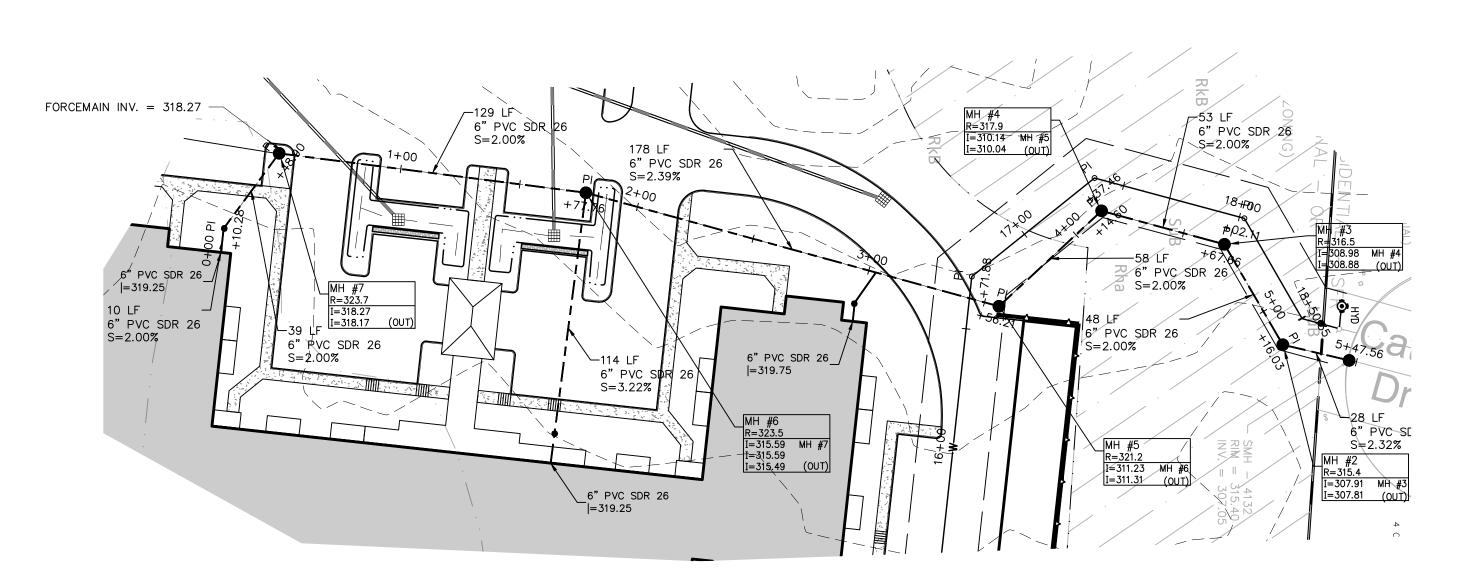
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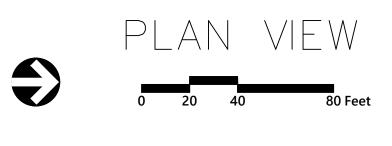
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The Summit at Forts Ferry

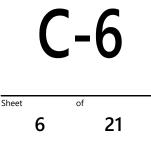
33 & 45 Forts Ferry Road Colonie, New York

No.	Revision	Date	Appvd.
1.	TOWN REVIEW COMMENTS	9/21/2018	PN
Design	ed by	Checked by	
	CG	ł	РМ
Issued	for	Date	
Sit	e Plan Review	June 1	5, 2018

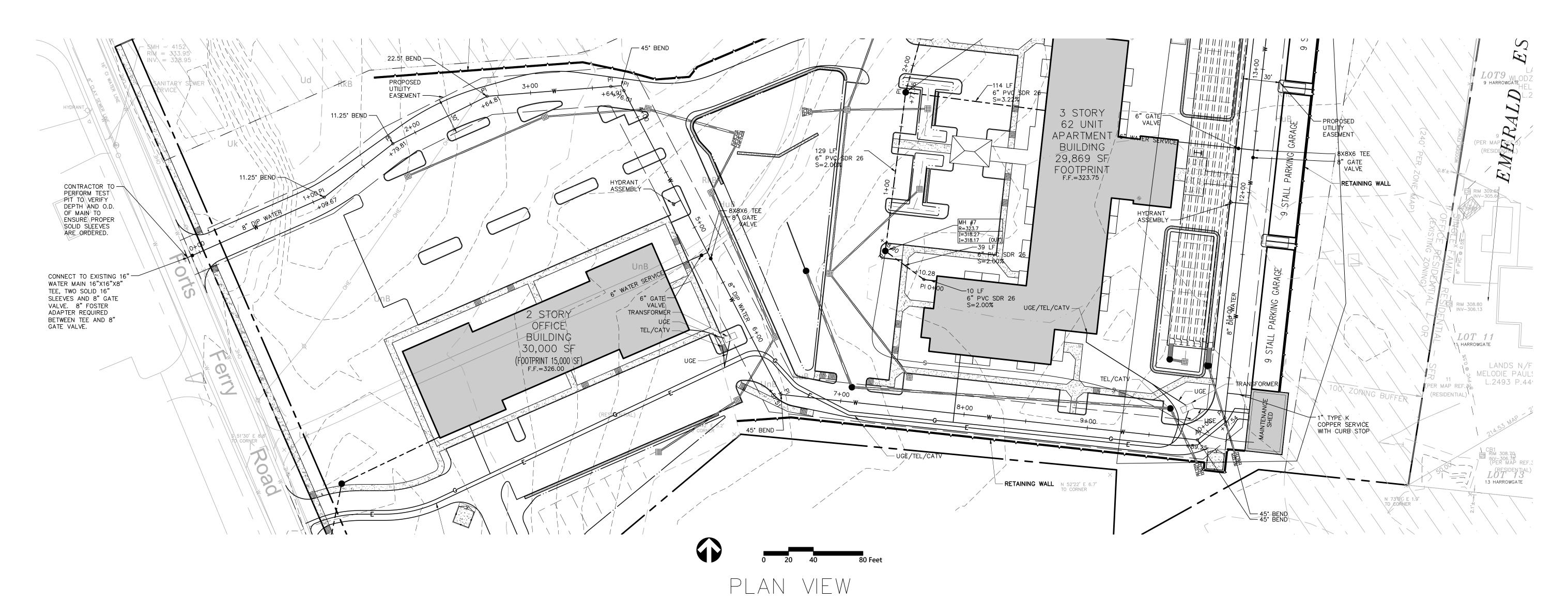
Not Approved for Construction

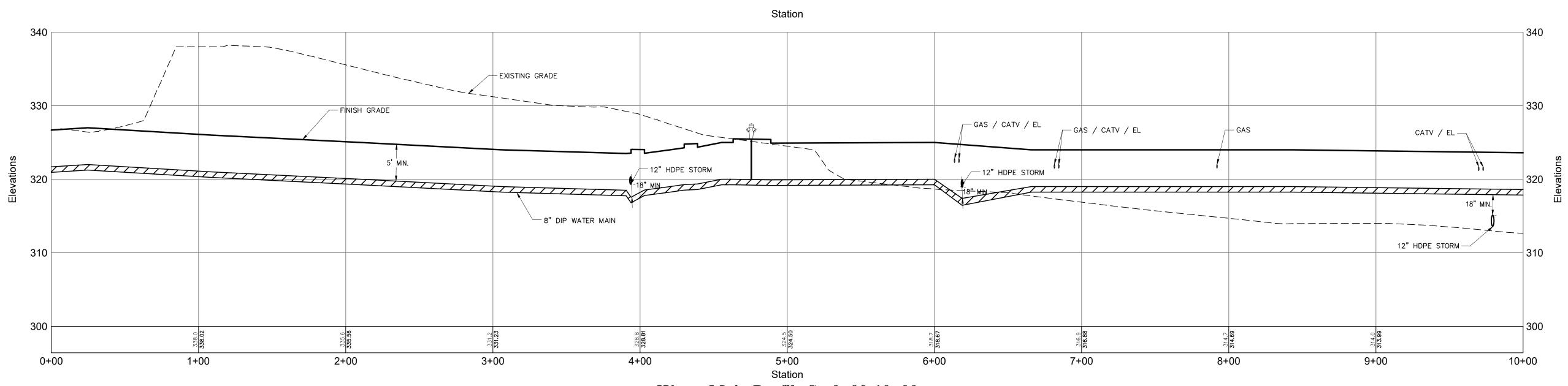
Sanitary Sewer Profile

Drawing Number

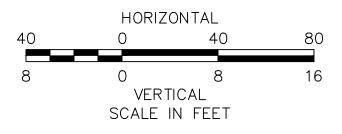










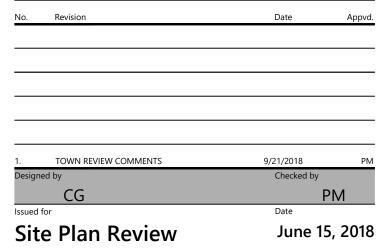




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33 & 45 Forts Ferry Road Colonie, New York



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Water Main Profile St. 0+00 - 10+00

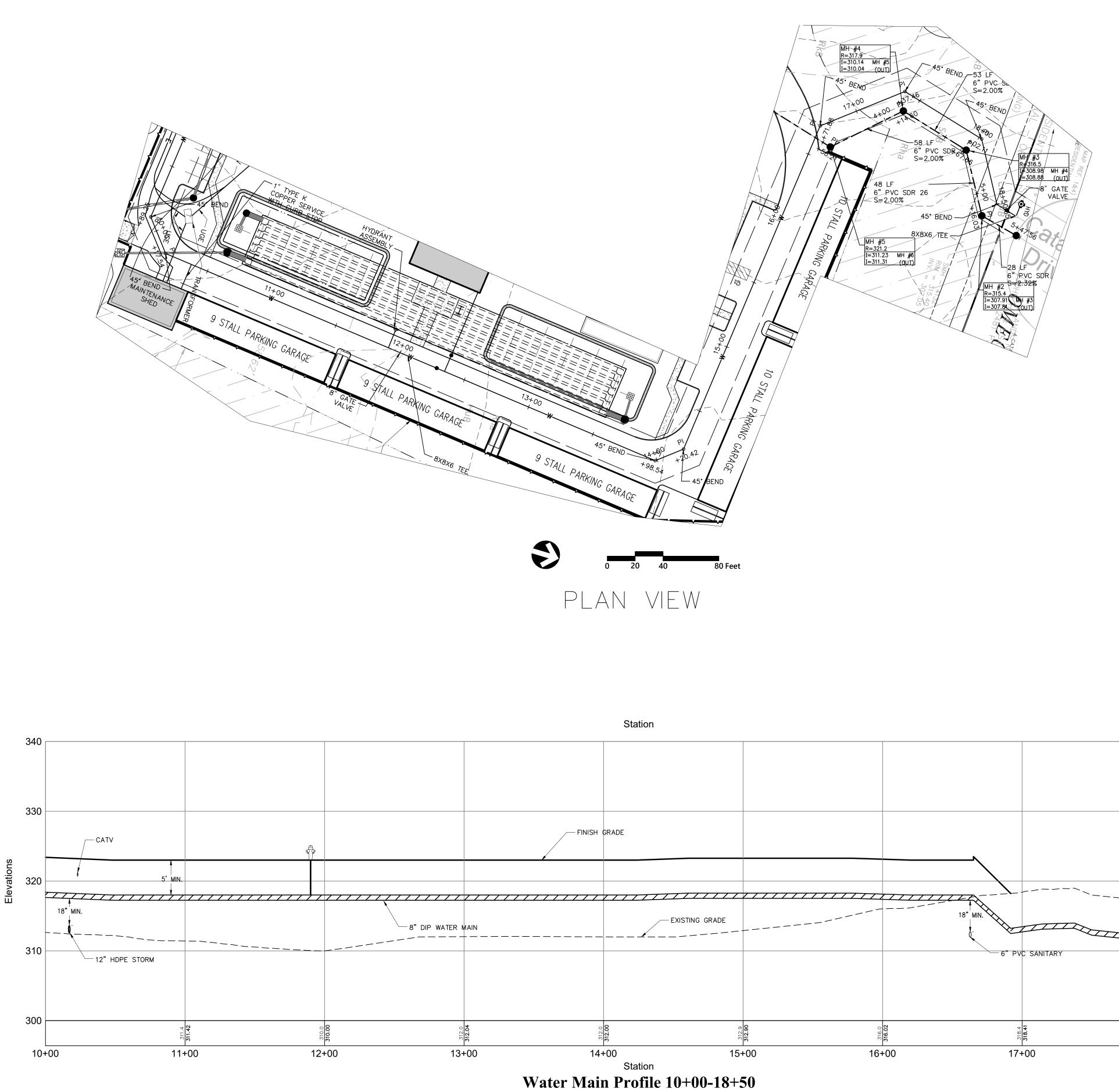


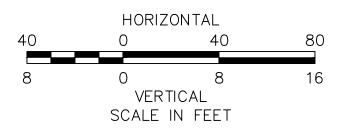
of **21**

Project Number **29466.00**

Drawing Number

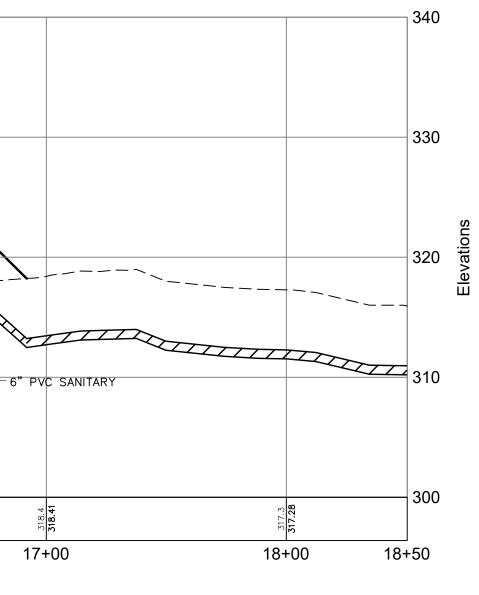
Y STALL PARKING GARAGE





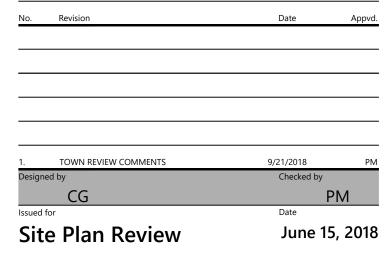


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The Summit at Forts Ferry

33 & 45 Forts Ferry Road Colonie, New York



Not Approved for Construction

Water Main Profile St. 10+00 - St. 18+50



C-8 of **21**

Project Number **29466.00**

Drawing Number

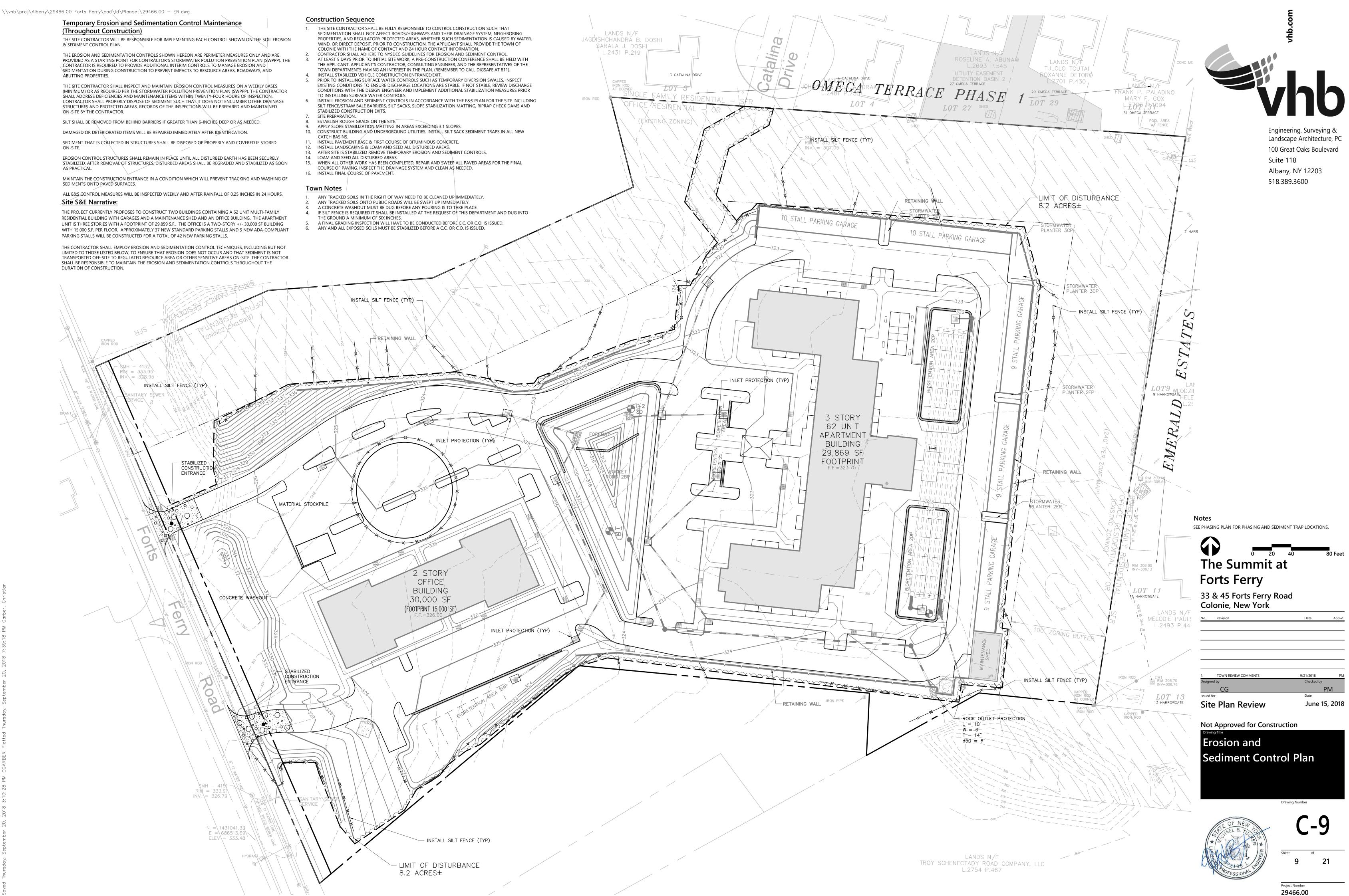
ALL E&S_CONTROL MEASURES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL OF 0.25 INCHES IN 24 HOURS.

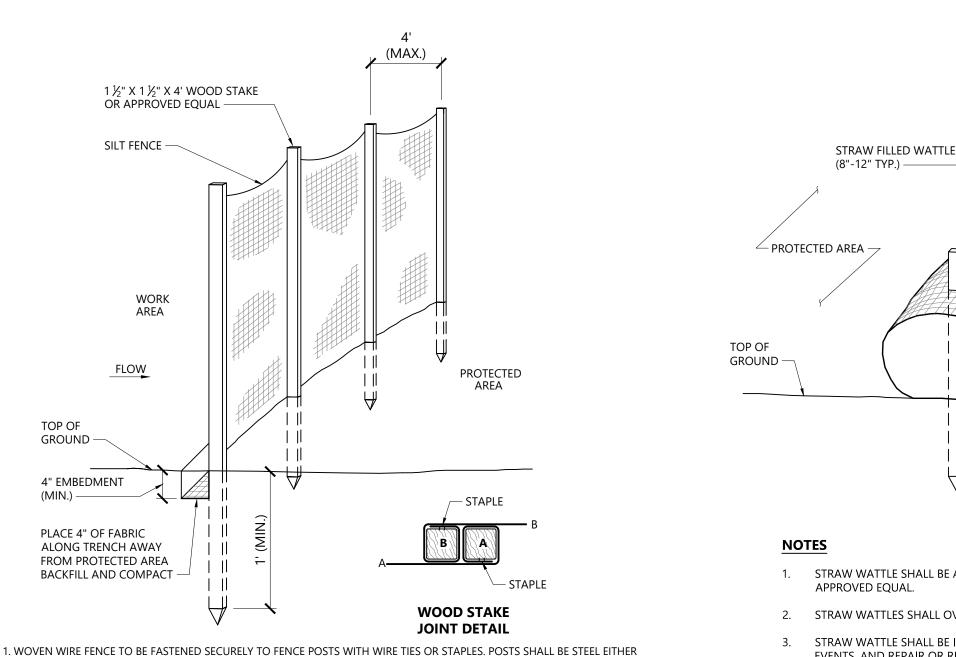
THE PROJECT CURRENTLY PROPOSES TO CONSTRUCT TWO BUILDINGS CONTAINING A 62 UNIT MULTI-FAMILY UNIT IS THREE STORIES WITH A FOOTPRINT OF 29,859 S.F.. THE OFFICE IS A TWO-STORY +/- 30,000 SF BUILDING PARKING STALLS WILL BE CONSTRUCTED FOR A TOTAL OF 42 NEW PARKING STALLS.

- INSTALL STABILIZED VEHICLE CONSTRUCTION ENTRANCE/EXIT.
- TO INSTALLING SURFACE WATER CONTROLS.

- 11

- 16. INSTALL FINAL COURSE OF PAVEMENT.





"T" OR "U" TYPE OR HARDWOOD.

2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.

3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER- LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.

4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT. 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

Silt Fence Barrier			1/16
N.T.S.	Source: VHB	REV	LD_650



SITE

SITE

NOTES

OCCURS.

PROVIDED AS NEEDED.

FINISH MATERIALS BEING INSTALLED.

FILTER

FABRIC -

1 ½" CRUSHED STONE

50' (MIN.)

PLAN VIEW

50' (MIN.)

4" (MIN.) –

CROSS-SECTION

1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT

2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL

PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC

ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR

SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC

PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE

3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL

RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE

CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL

LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS

RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH

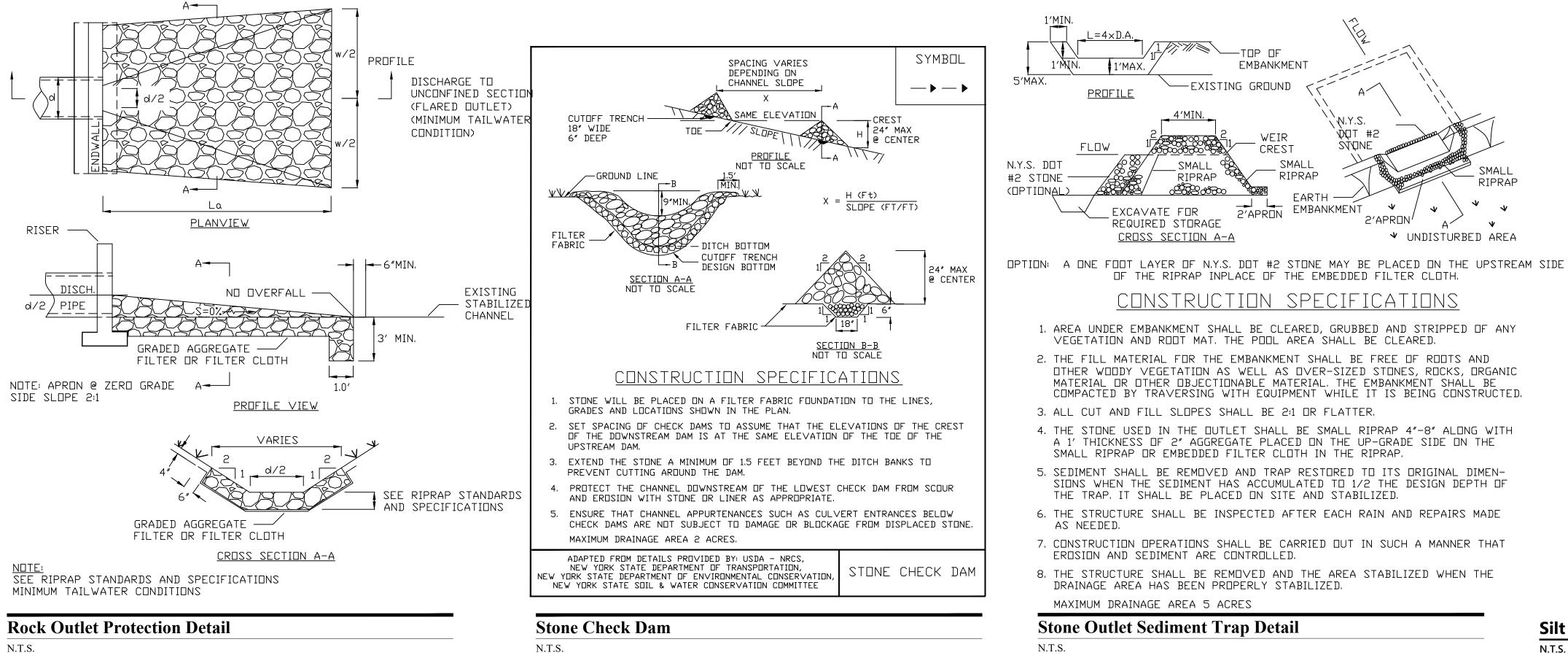
EXISTING

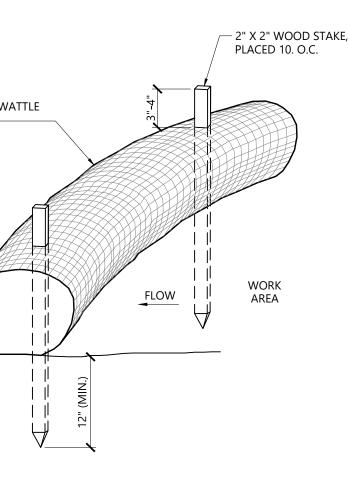
PAVEMEN

- EXISTING

MOUNTABLE BERM

PAVEMENT





1. STRAW WATTLE SHALL BE AS MANUFACTURED BY EARTHSAVER OR

2. STRAW WATTLES SHALL OVERLAP A MINIMUM OF 12 INCHES.

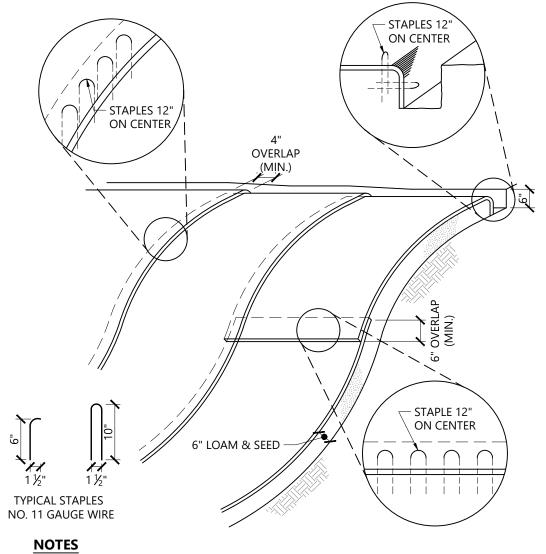
AS NEEDED.

STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY

4. TEMPORARY STRAW WATTLES TO BE REMOVED BY CONTRACTOR. ALL OTHERS TO REMAIN IN PLACE UNLESS DIRECTED OTHERWISE BY ENGINEER. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.



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- 1. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING.
- 2. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
- 3. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
- 4. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
- 5. METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
- 6. EROSION CONTROL BLANKETS SHALL BE USED IN ALL AREAS WHERE SLOPES EXCEED 3:1.

1/16

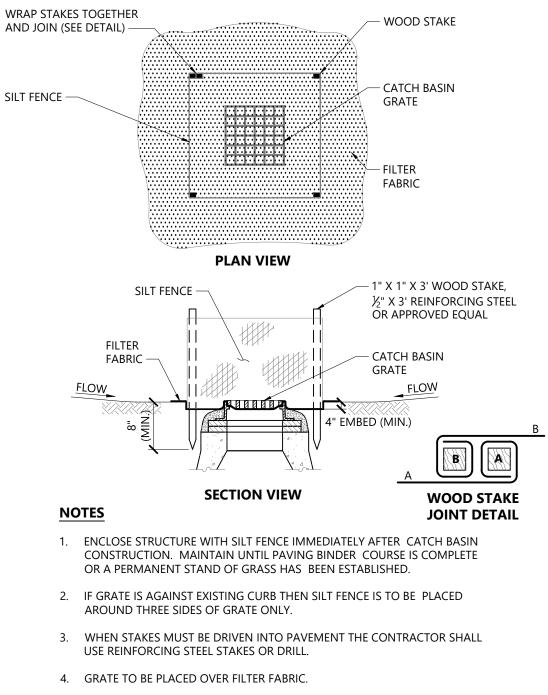
LD_680

1/16

LD_675

Erosion Control Blanket Slope Installation

Source: VHB



5. SILT FENCE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

Silt Fence Sediment Trap

Source: VHB

CG Site Plan Review

lo. Revision

Date June 15, 2018

9/21/2018

hecked by

PM

Date

Not Approved for Construction

The Summit at

33 & 45 Forts Ferry Road

Forts Ferry

Colonie, New York

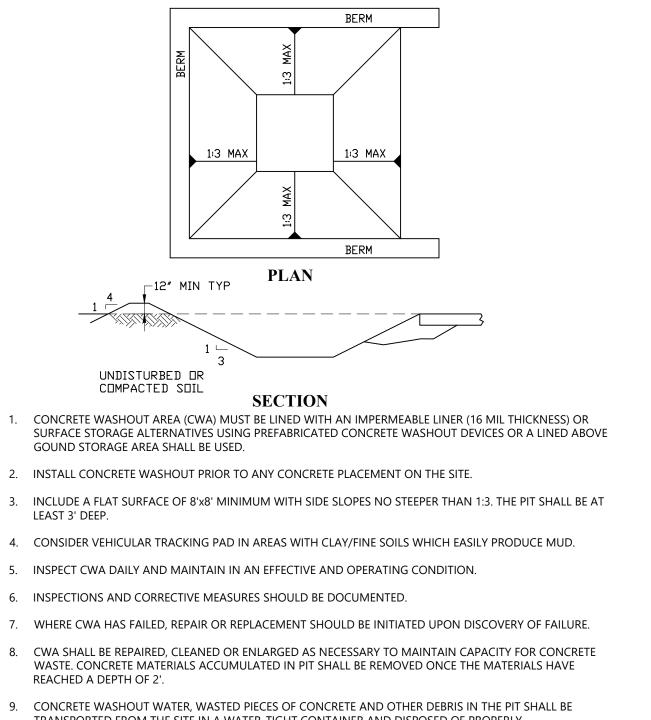
TOWN REVIEW COMMENT

Erosion and Sediment Control Details



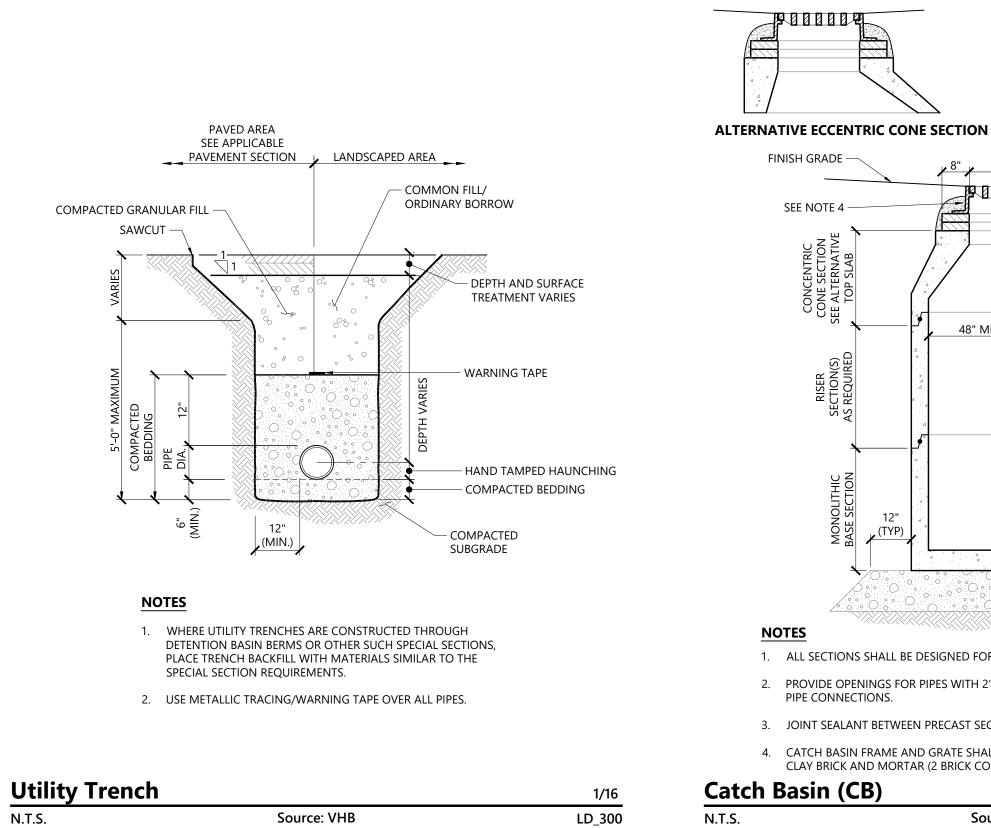
Drawing Number	
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Sheet	of
10	21

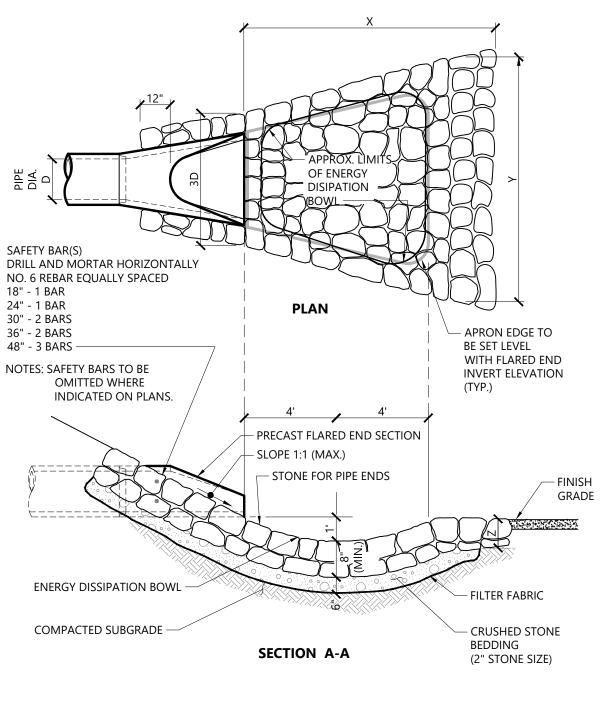


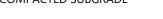


- TRANSPORTED FROM THE SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- 10. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FROM THE PROJECT HAS BEEN PLACED. 11. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOPSOIL, SEED AND MULCH OR OTHERWISE STABILIZED MANNER APPROVED BY INSPECTOR

Concrete Washout Area (CWA)		4/16
N.T.S.	Source: VHB	



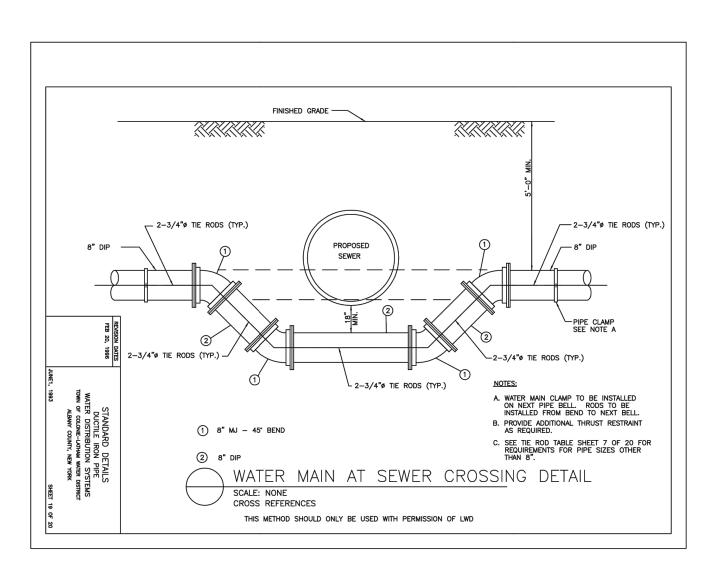




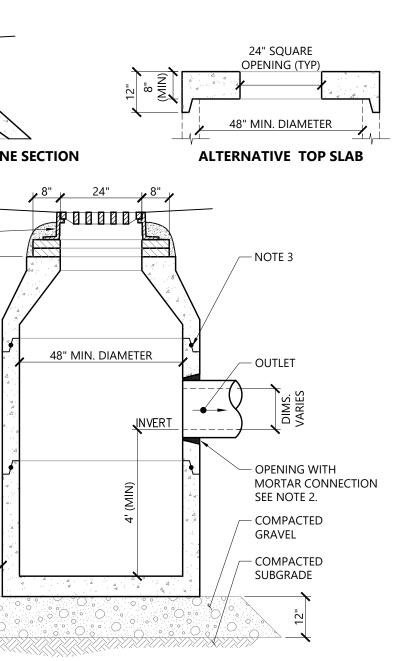
N.T.S.



Flared End Section (FES) with Stone Protection 1/16 LD_134 Source: VHB







1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.

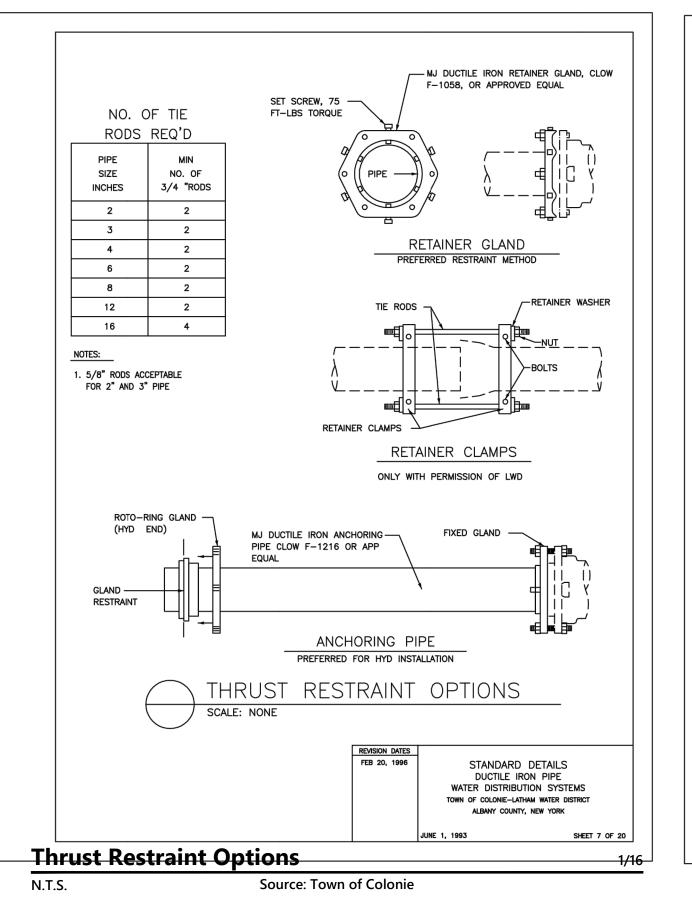
2. PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL

3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER. 4. CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

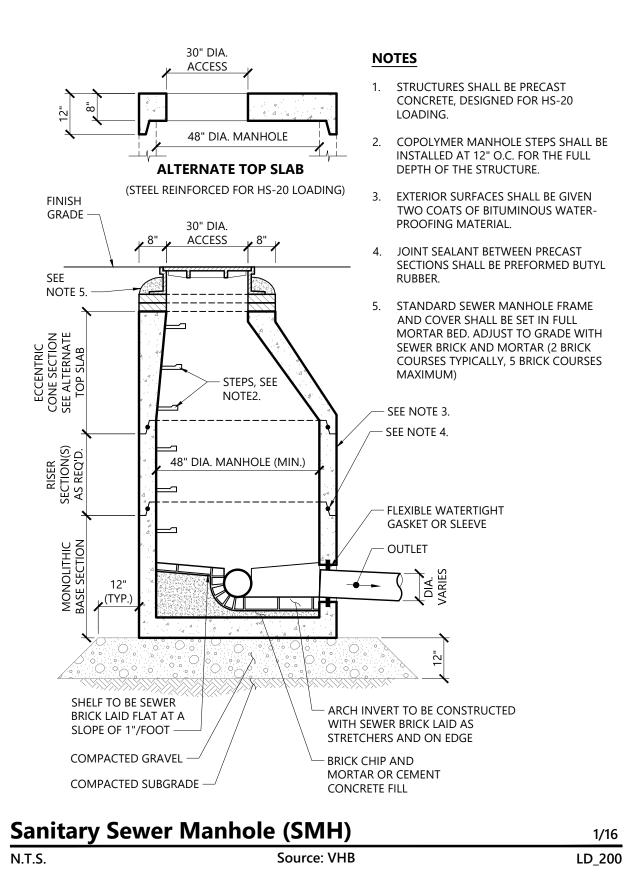
1/16

LD_100

Source: VHB

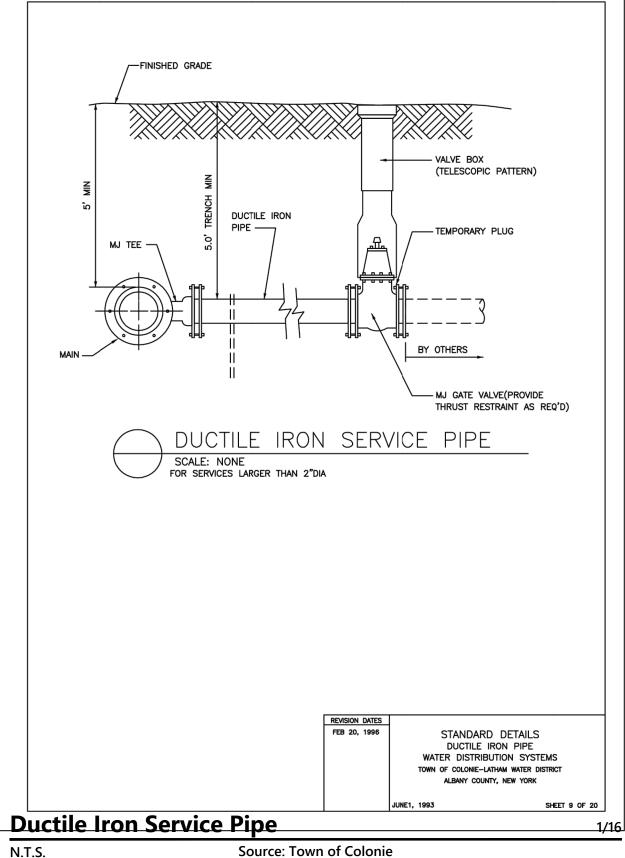


N.T.S.



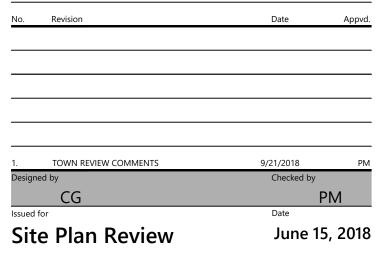


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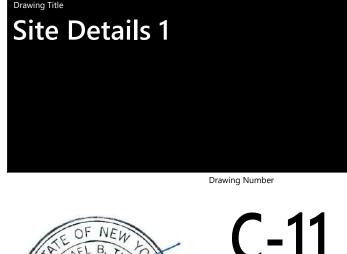


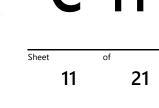
The Summit at Forts Ferry

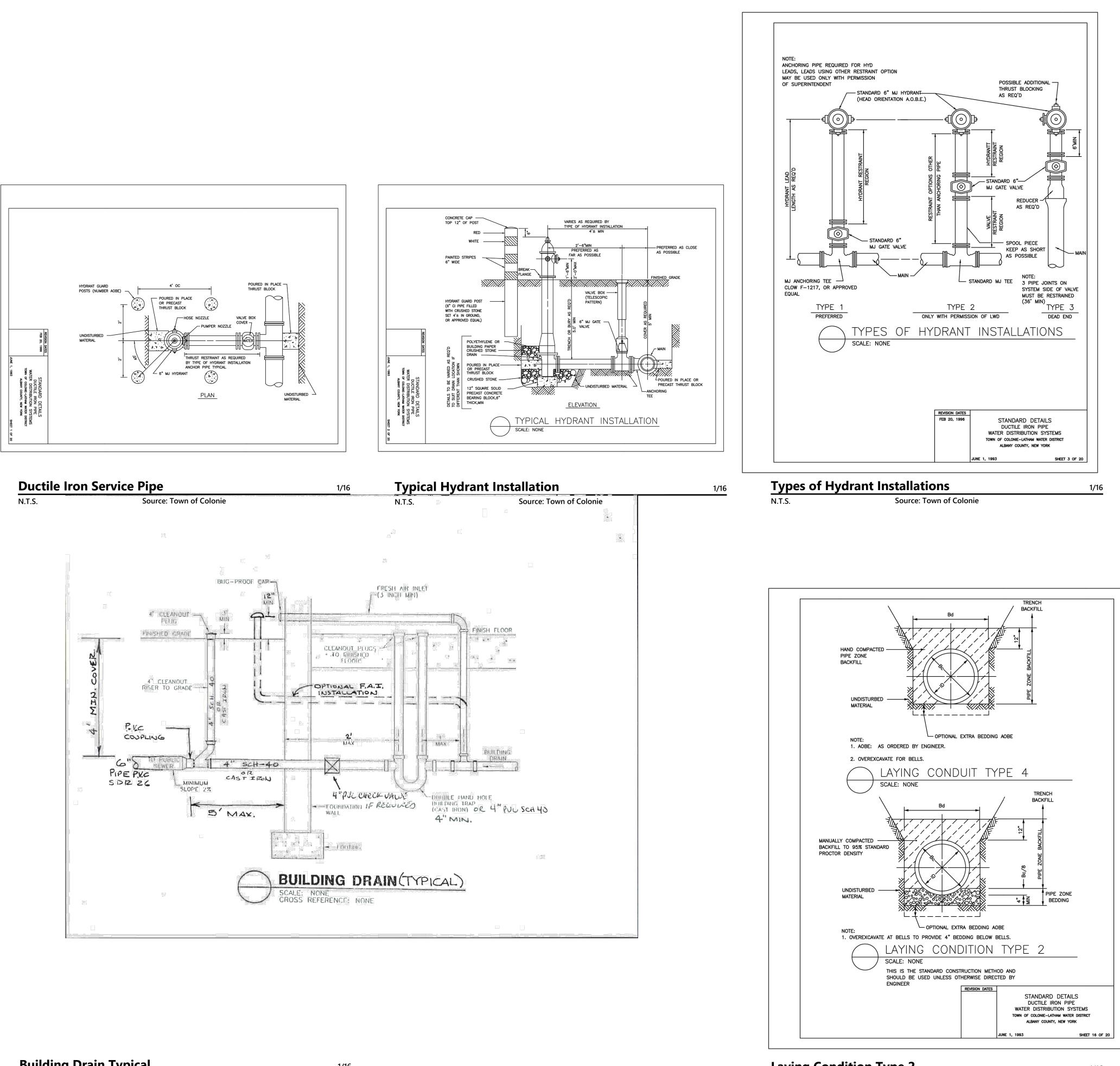
33 & 45 Forts Ferry Road Colonie, New York

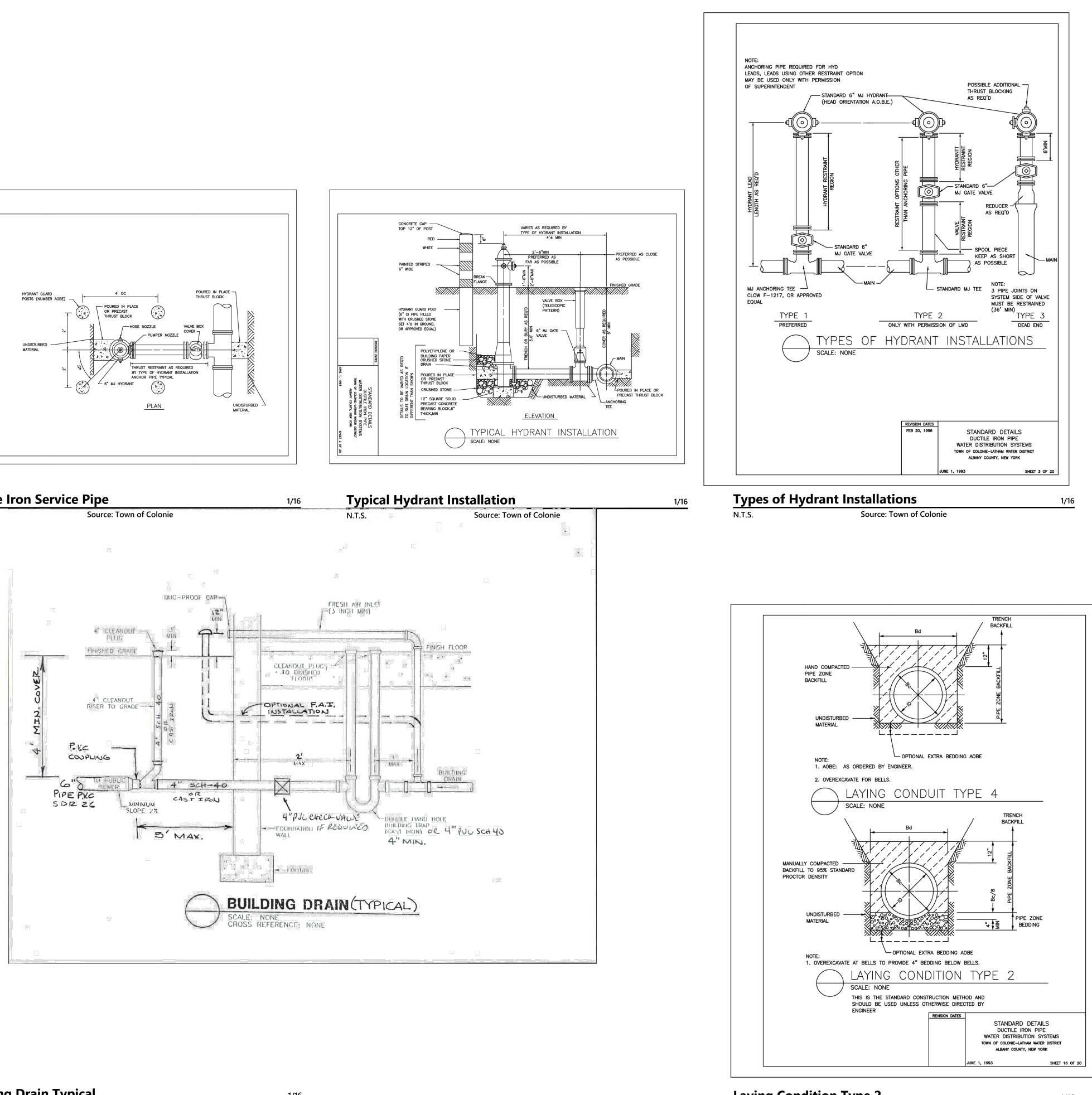


Not Approved for Construction









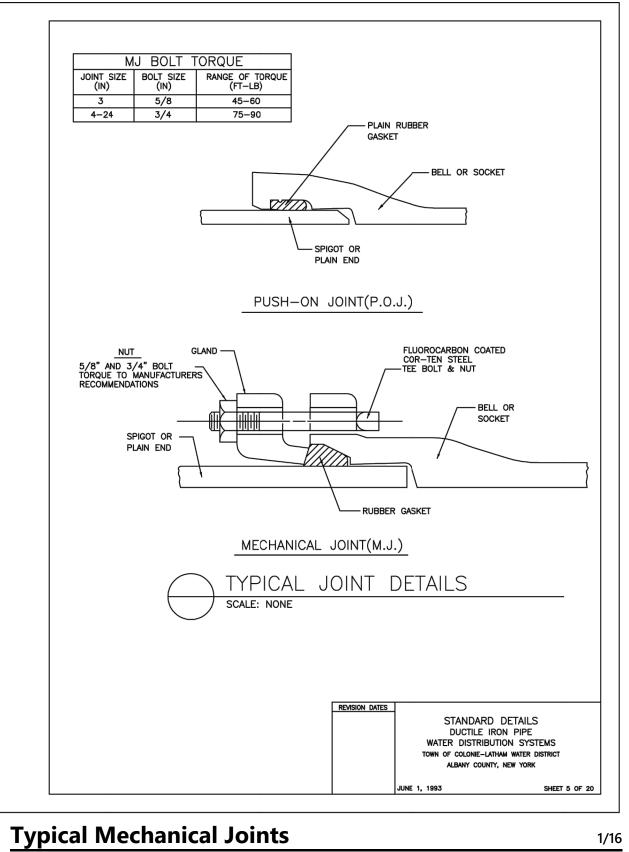
Building Drain Typical N.T.S. Source: Town of Colonie

1/16



Laying Condition Type 2 N.T.S. Source: Source: Town of Colonie

1/16

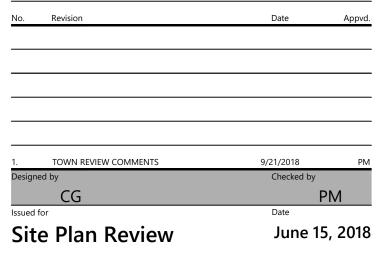


Source: Town of Colonie

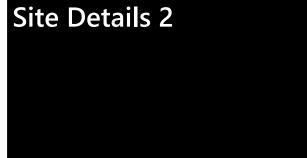


The Summit at

33 & 45 Forts Ferry Road Colonie, New York



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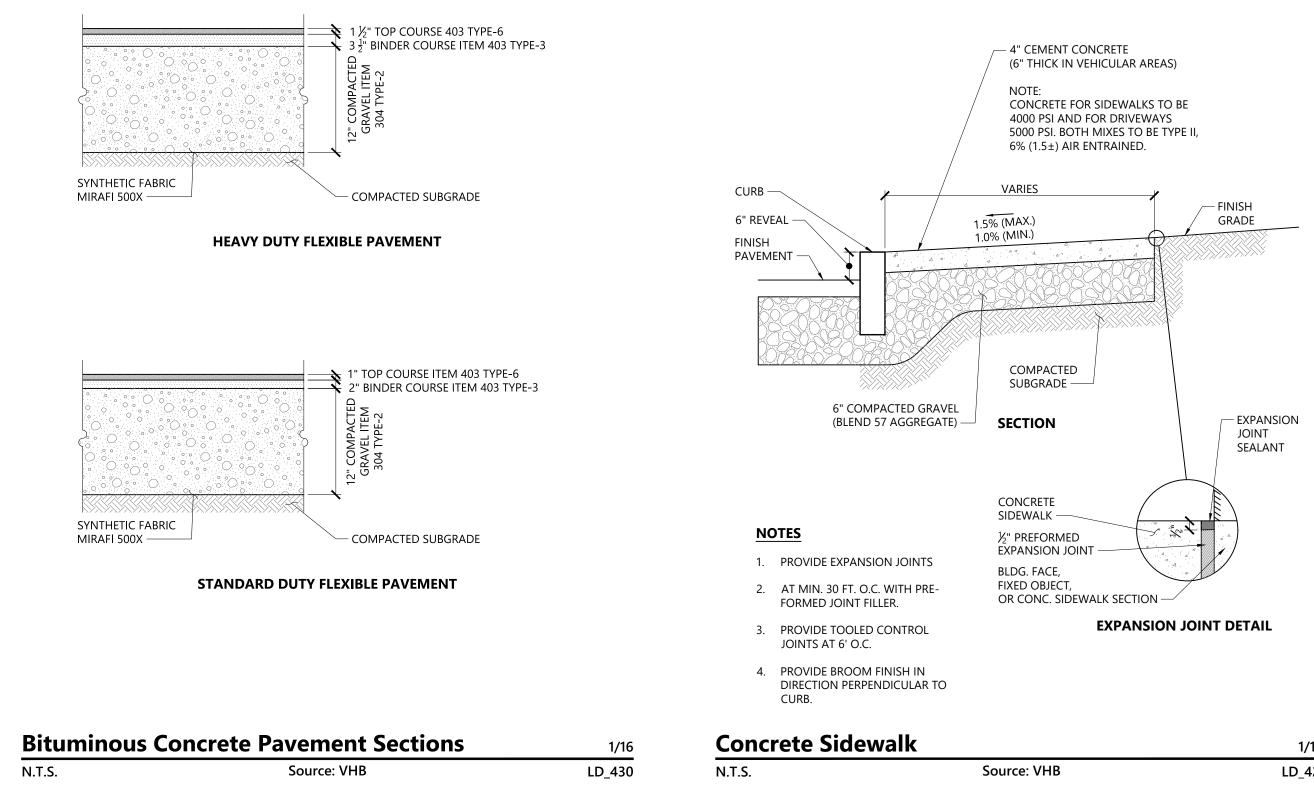


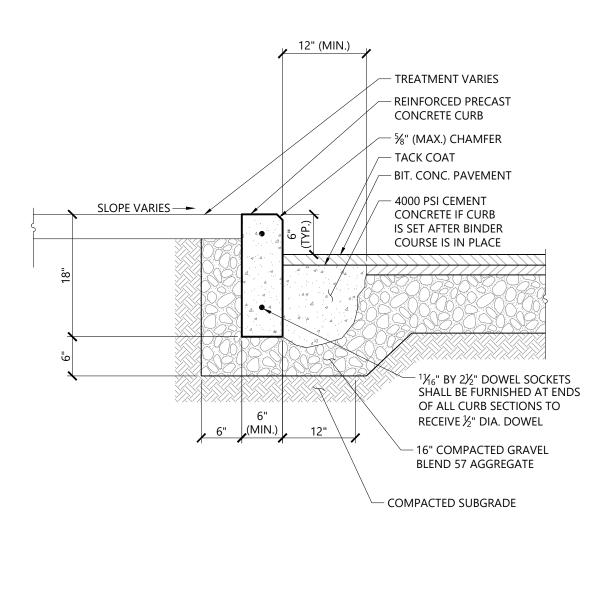


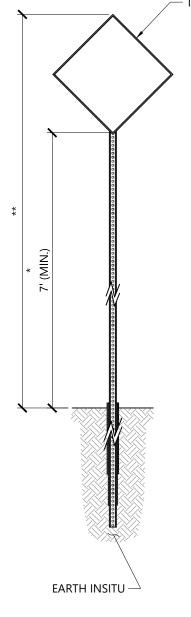


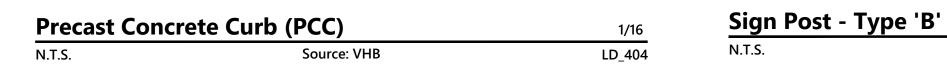
Project Number 29466.00

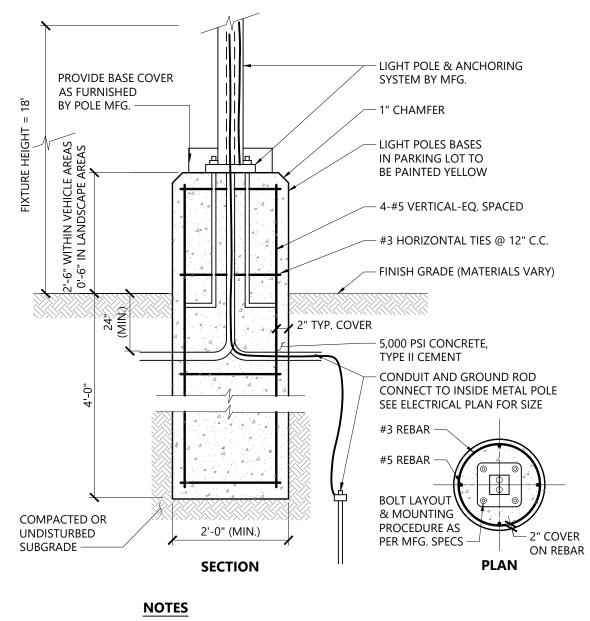
Forts Ferry











LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

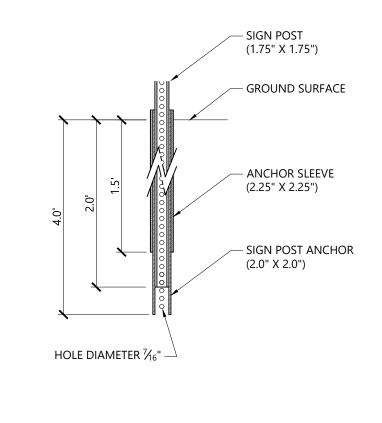
N	
R TO	

	1/16
Source: VHB	LD_420

Light Pole Fou	1/16	
N.T.S.	Source: VHB	LD_310A

- TYPICAL SIGN

- * THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
- * * THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.



LANDSCAPE AREA (TYP.)	RECONSTRUCTION ALL REAL PROPERTY OF CONTRACT OF CONTRA
CURB TRANSITION (2' MIN)	1510-11-11-1 1510-11-12-12
	^一 ¼" LIP MAX. SEE NOTE 9.

NOTES

1/16

LD_702

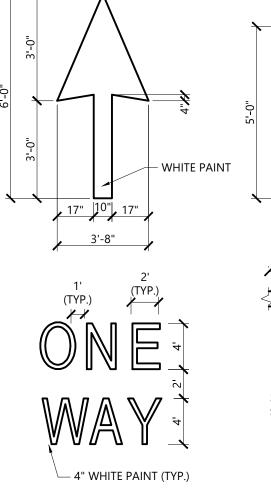
- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%. 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

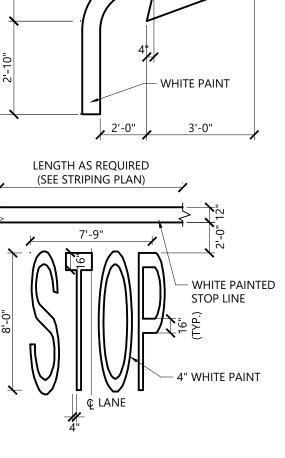
Accessible C	Curb Ramp (ACR) - Type 'B'	1/16
N.T.S.	Source: VHB	LD_501

Source: VHB



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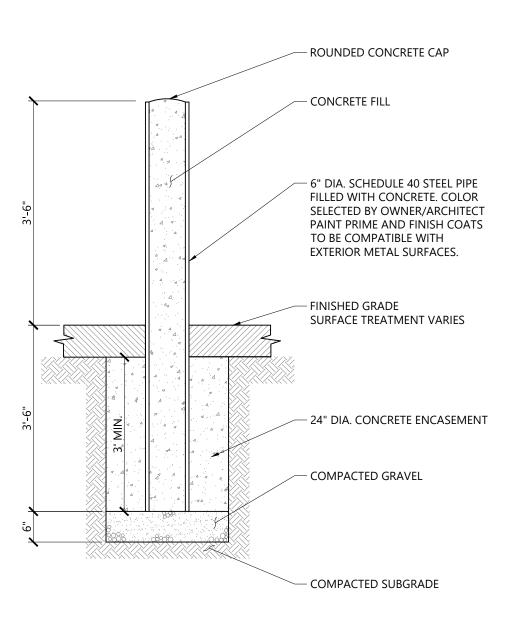




NOTES

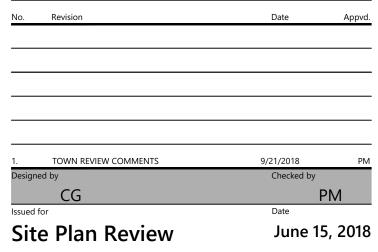
1. PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

Painted	1/16	
N.T.S.	Source: VHB	LD_554

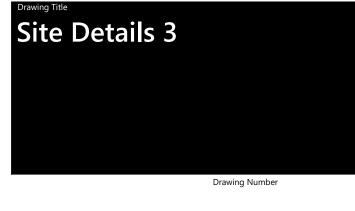


The Summit at Forts Ferry

33 & 45 Forts Ferry Road Colonie, New York



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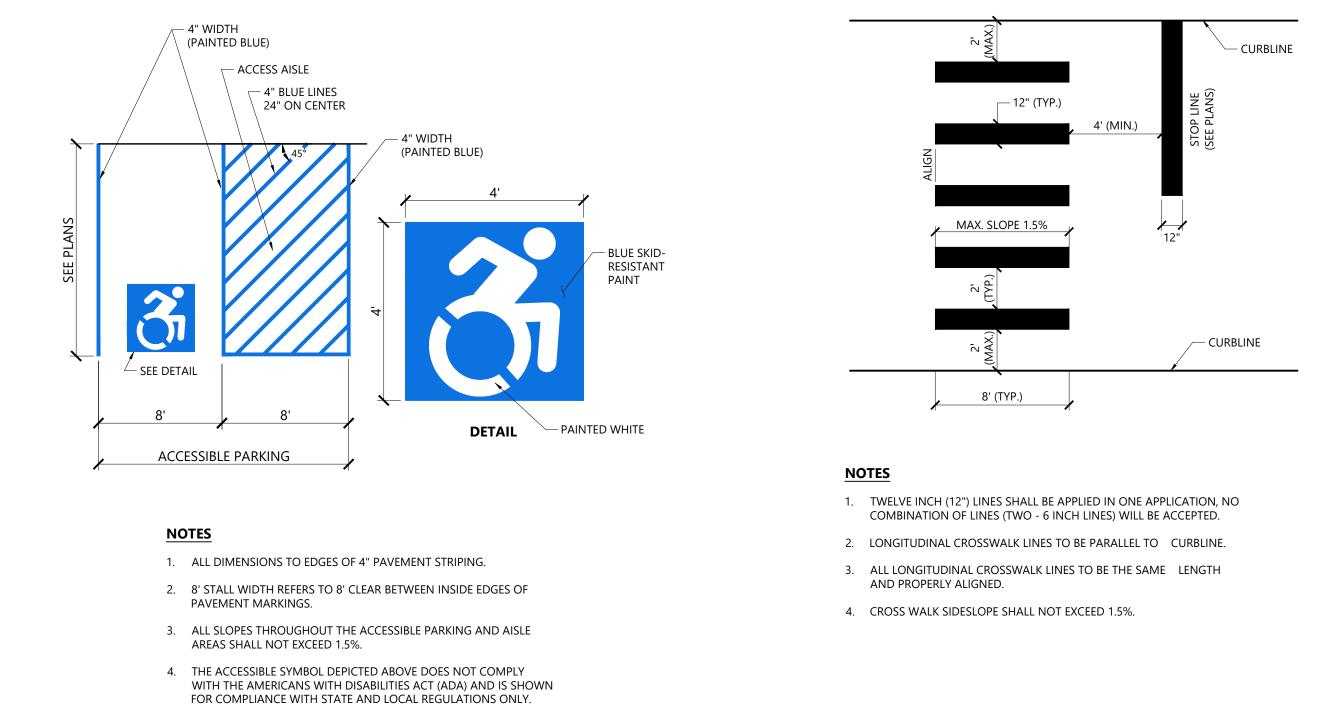


Bollard N.T.S.

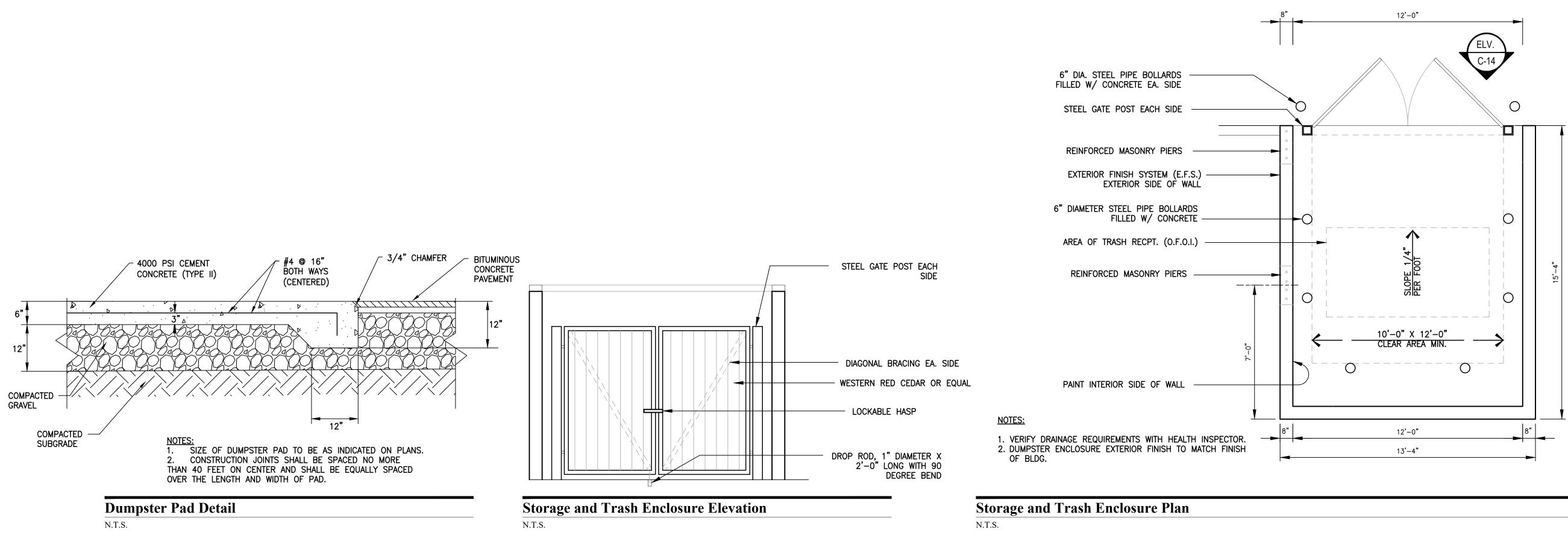
Source: VHB

9/17 LD_700

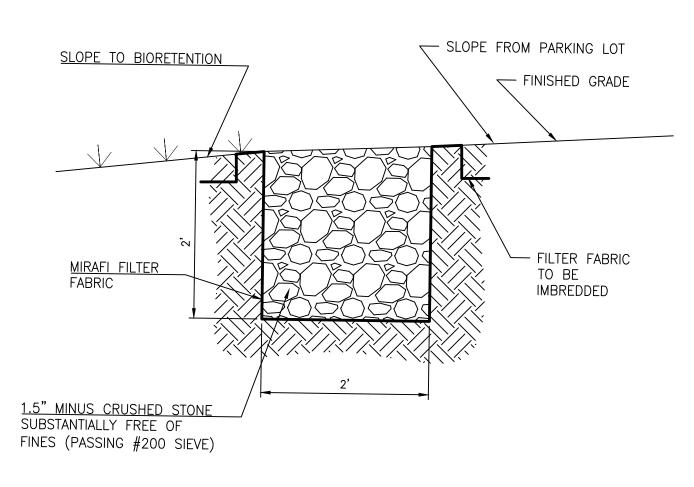
2-13 21 13



Accessible Pa	rking Space	1/16	Crosswalk
N.T.S.	Source: VHB	LD_552c	N.T.S.



Source: VHB





1/16

LD_553





 $\frac{1}{4}$ " LIP MAX. SEE NOTE 9.

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NOTES

- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%%%.
- A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- 9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

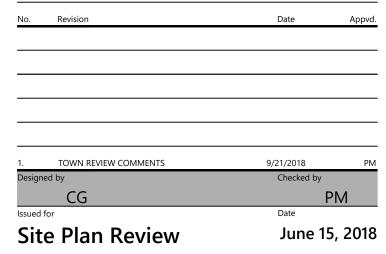
Accessible Curb Ramp (ACR) Type 'A'

LD_500 Source: VHB

The Summit at Forts Ferry

1/16

33 & 45 Forts Ferry Road Colonie, New York



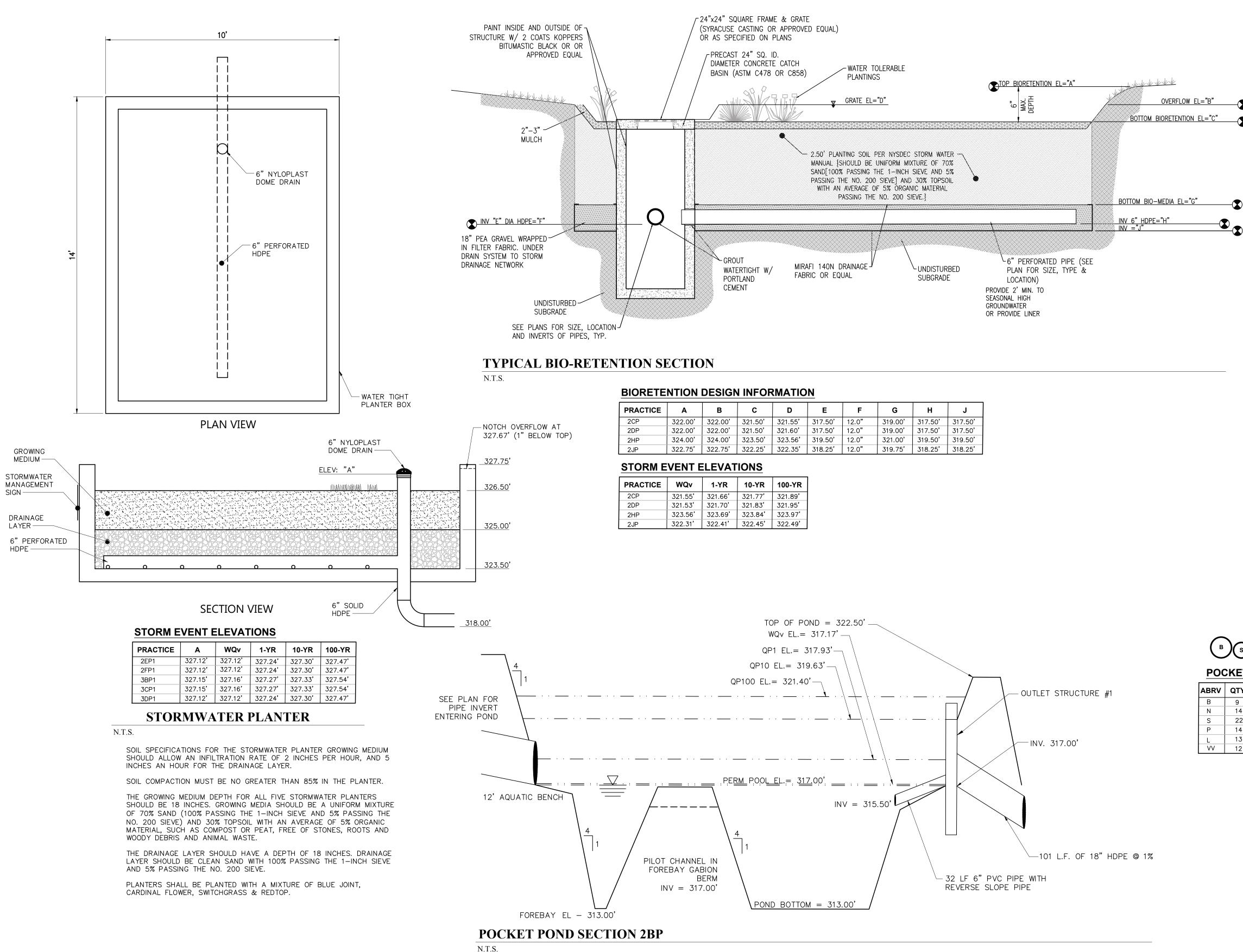
Not Approved for Construction

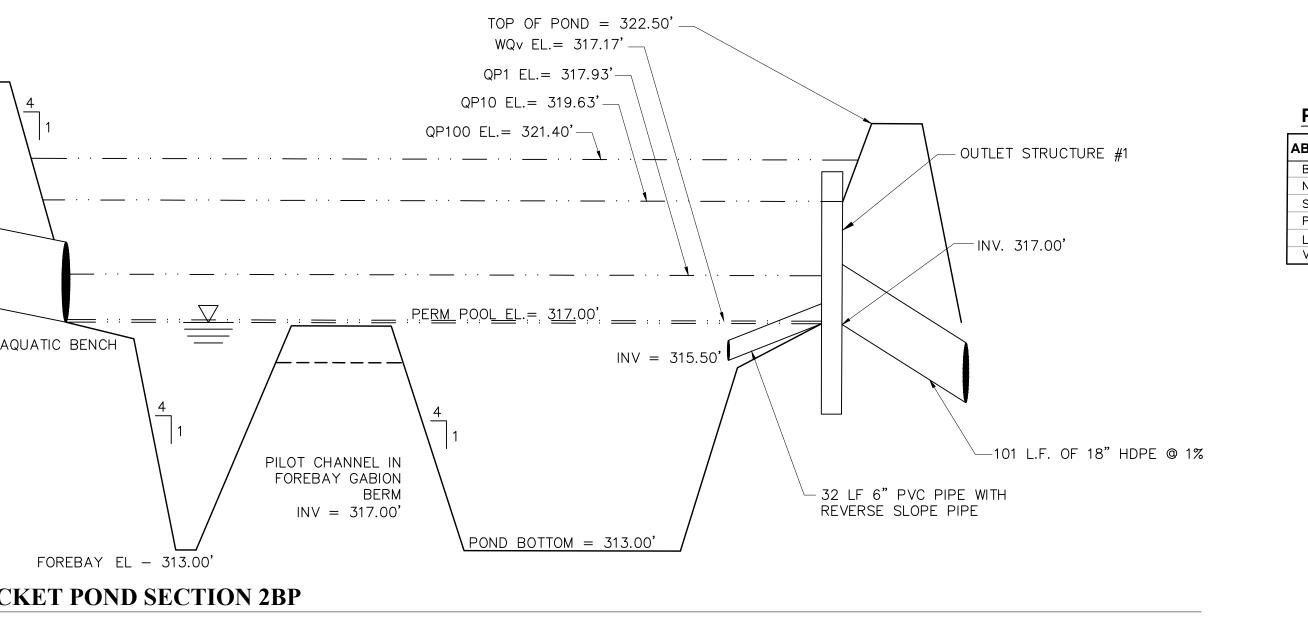
Site Details 4

Drawing Number



C-14 21 14





PRACTICE	Α	В	С	D	E	F	G	н	J
2CP	322.00'	322.00'	321.50'	321.55'	317.50'	12.0"	319.00'	317.50'	317.50'
2DP	322.00'	322.00'	321.50'	321.60'	317.50'	12.0"	319.00'	317.50'	317.50'
2HP	324.00'	324.00'	323.50'	323.56'	319.50'	12.0"	321.00'	319.50'	319.50'
2JP	322.75 '	322.75'	322.25'	322.35'	318.25'	12.0"	319.75'	318.25'	318.25'

PRACTICE	WQv	1-YR	10-YR	100-YR
2CP	321.55'	321.66'	321.77'	321.89'
2DP	321.53'	321.70'	321.83'	321.95'
2HP	323.56'	323.69'	323.84'	323.97'
2JP	322.31'	322.41'	322.45'	322.49'

NOTES:

- 1. BIORETENTION FACILITIES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH "THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL", CHAPTER 6.
- 2. PLANTING SOIL SHALL BE TESTED & MEET THE FOLLOWING CRITERIA: PH RANGE 5.2-7.0 1.5-4%

ORGANIC MATTER
MAGNESIUM
PHOSPHOROUS P₂O₅
POTASSIUM K₂O
SOLUBLE SALTS

- 35 LB/AC 75LB/AC 85/AC NOT TO EXCEED 500PPM
- ROTOTILL 2-3" OF SAND BASE INTO THE BASE OF THE BIORETENTION FACILITY.
- 4. BACK FILLING OF BIORETENTION FACILITY SHALL BE PLACED IN 12" LIFTS.
- 5. MAIN COLLECTOR PIPE OF THE UNDER DRAIN SYSTEM SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5%. OBSERVATION WELLS OR CLEAN OUT PIPES MUST BE PLACED EVERY 1000SF OF SURFACE AREA.
- 6. BIORETENTION AREA MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- 7. BIORETENTION MEDIA SHALL HAVE AN INFILTRATION RATE OF APPROXIMATELY 0.5" PER HOUR.

BIORETENTION PLANT LIST

ABRV	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
E	X	EUPATORIUM MACULATUM	JOE PYE WEED	#1 CONT.	24"
G	Х	LOBELIA SIPHATICA	GREAT BLUE LOBELIA	#1 CONT.	12"
R	Х	CORNUS STOLONIFERA	RED OSIER DOGWOOD	#1 CONT.	4'
Р	Х	ILEX VERTICILLATA	WINTERBERRY	#1 CONT.	4'
V	Х	CAREX VULPINOIDEA	FOX SEDGE	#1 CONT.	12"
S	Х	PANICUM VIRGATUM	SWITCH GRASS	#1 CONT.	3'

MATERIALS SPECIFICATION FOR BIORETENTION

PARAMETERS	SPECIFICATIONS	SIZE	NOTES:
PLANTINGS	SEE YOUR LOCAL NRCS STANDARD SPECIFICATIONS GUIDANCE	N/A	PLANTINGS ARE SITE-SPECIFIC
PLANTING SOILS [2.5'=DEEP]	SAND 50% TOPSOIL 50%	N/A	USDA SOIL TYPES LOAMY SAND, SANDY LOAM OR LOAM
MULCH	RIVER RUN ROUND STONE	1"-2.5"	
PEA GRAVEL DIAPHRAGM AND CURTAIN DRAIN	PEA GRAVEL: ASTM D 448 ORNAMENTAL STONE: WASHED COBBLES	PEA GRAVEL: NO 6 STONE: 2"-5"	
GEOTEXTILE	CLASS "C" APPARENT OPPENING SIZE (ASTM–D–4751) GRAB TENSILE STREANGTH (ASTM–D–4632) BURST STRENGTH (ASTM–D–4833)	N/A	FOR USE AS NECESSARY BENEATH UNDERDRAINS ONLY
UNDERDRAIN GRAVEL	AASHTO M-43. NO. 67.	0.25" – 0.75"	3/8" PERF. @ 6" O.C., 4 HOLES PER ROW; MINIMUM OF 3" GRAVEL OVER PIES: NOT NECESSARY UNDERNEATH PIPES
UNDERDRAIN PIPING	ASTM D 1785 OR AASHTO M-278	6" RIDGID SCHEDULE 40 PVC	3/8" PERF. @ 6" O.C., 4 HOLES PER ROW
POUR IN PLACE CONCRETE (IF REQUIRED)	SEE LOCAL DOT STANDARDS SPECS.; f=c=3500PSI @ 28 DAYS, NORMAL WEIGHT, AIR-ENTRAINED; RE-INFORCED TO MEET ASTM 615-60	N/A	ON-SITE TESTING OF POURED-IN-PLACE CONCRETE REQUIRED: 28 DAY STRENGTH AND SLUMP TEST: ALL CONCRETE DESIGN (CAST IN PLACE OR PRE-CAST) NOT USING PREVIOUSLY APPROVES STATE OR LOCAL STANDARDS REQUIRES DESIGN DRAWINGS SEAL & APPROVED BY A LICENCE PROFESSIONAL STRUCTURAL ENGINEER.
SAND [12"=DEEP]	AASHTO M-6 OR ASTM C-33	0.02" - 0.04"	SAND SUBSTITUTION SUCH AS DIABASE GRAYSTONE #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATE OR DOLOMITIC SAND SUBSTITUTE ARE ACCEPTABLE. NO "ROCK DUST" CAN BE USED FOR SAND

POCKET POND PLANT LIST

ΤY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
9	CEPALHLANTHUS OCCIDENTALIS	BUTTONBUSH	#1 CONT.	4' MIN
14	NUPHAR LUTEUM	SPATTERDOCK	#1 CONT.	2'
22	SCIRPUS ACUTUS	HARDSTEM BULRUSH	#1 CONT.	2'
14	POLYGONUM SPP	SMART WEED	#1 CONT.	2'
13	LEMMA SP.	DUCKWEEED	#1 CONT.	2'
12	SCIRPUS CYPERINUS	WOOL GRASS	#1 CONT.	2'

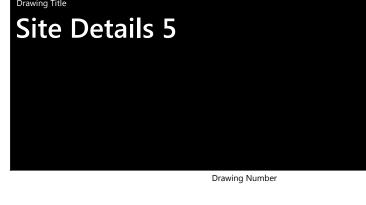
The Summit at Forts Ferry

33 & 45 Forts Ferry Road Colonie, New York

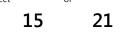
No.	Revision	Date	Appvd.
1.	TOWN REVIEW COMMENTS	9/21/2018	PM
Designe	d by	Checked by	
	CG	F	PM
Issued fo	or	Date	
Site	e Plan Review	June 1	5, 2018

Not Approved for Construction

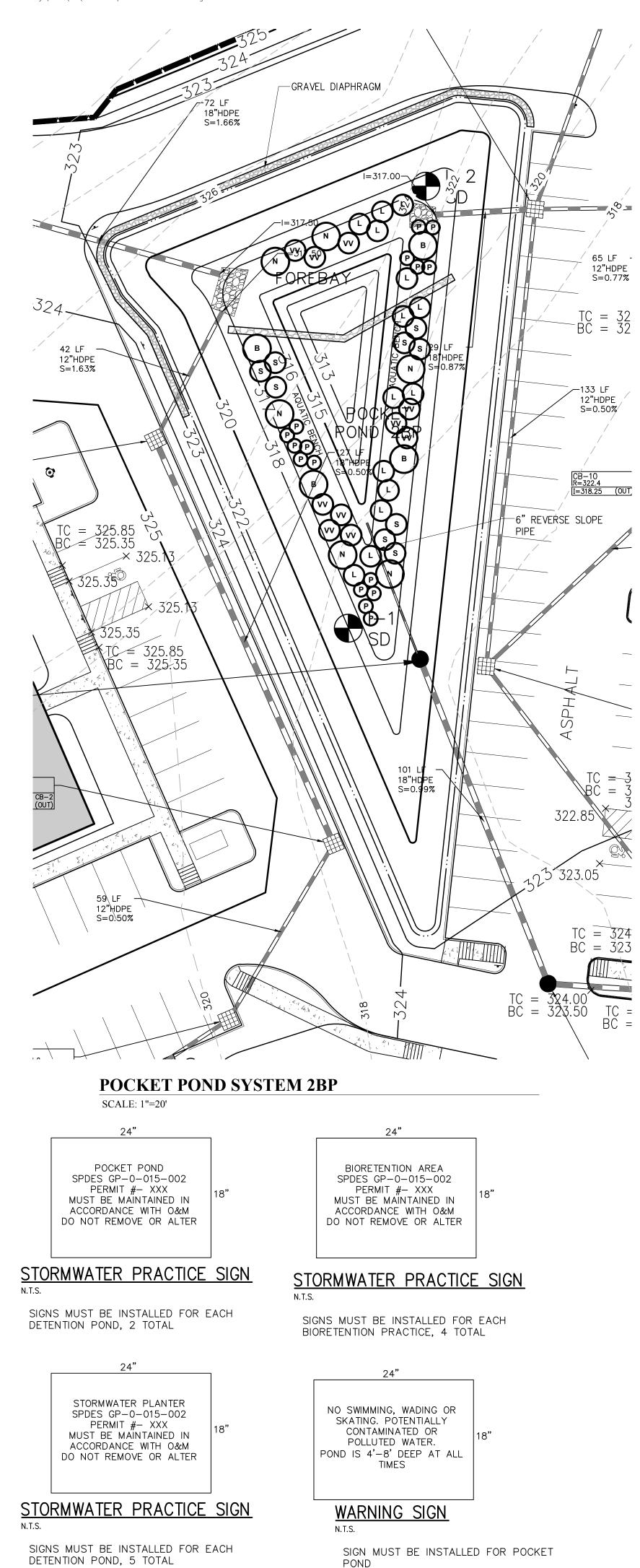
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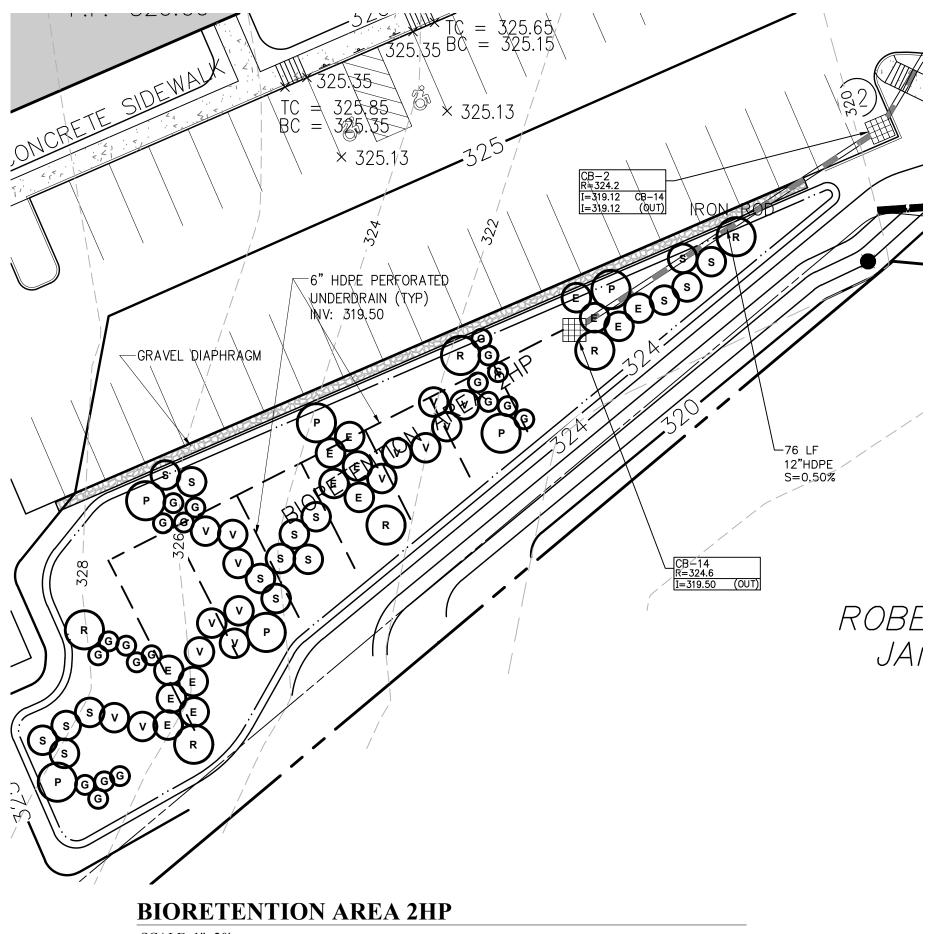




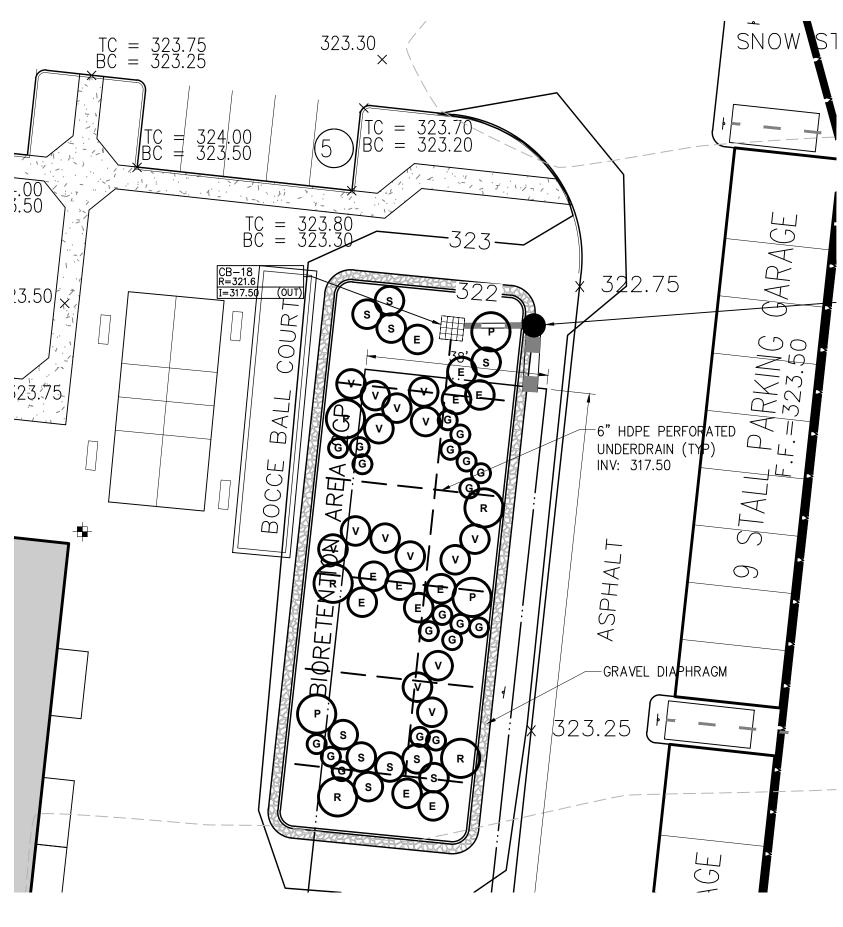


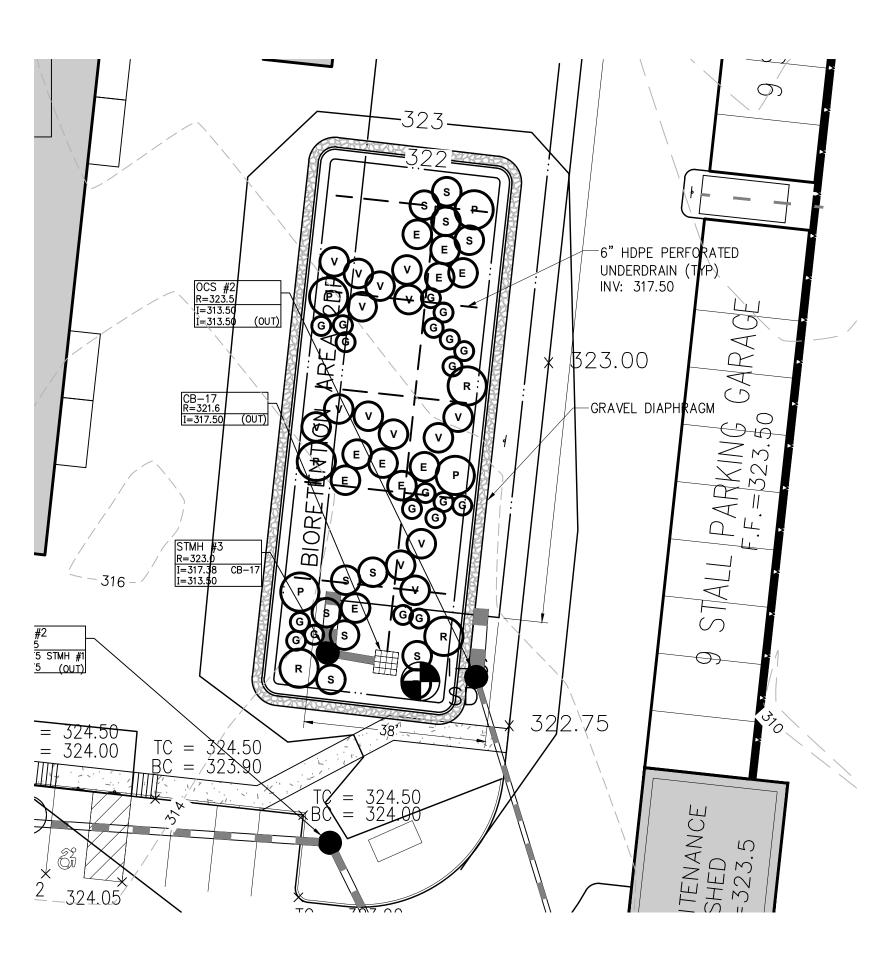
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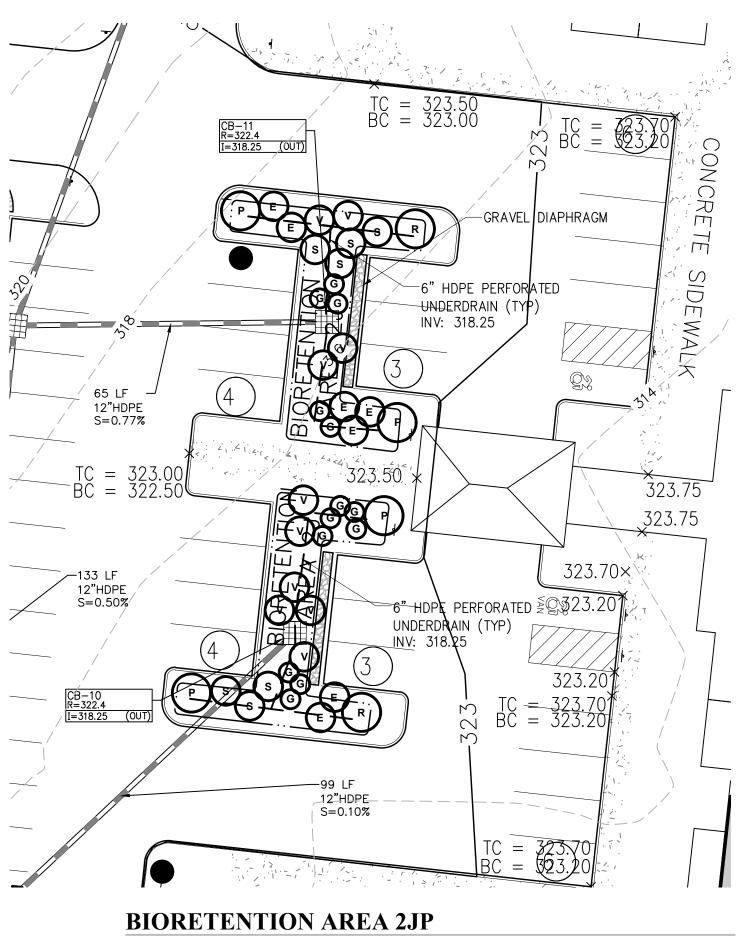


SCALE: 1"=20'





BIORETENTION AREA 2CP SCALE: 1"=20'



SCALE: 1"=20'

-133 LF 12"HDPE S=0.50%

R=322.4 I=318.25 (OU

BIORETENTION AREA 2DP

SCALE: 1"=20'



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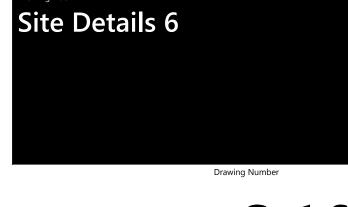
The Summit at Forts Ferry

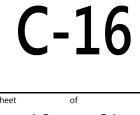
33 & 45 Forts Ferry Road Colonie, New York

No.	Revision	Date	Appvd.
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	CG	F	M
Issued	for	Date	
Sit	e Plan Review	June 1	5, 2018

Not Approved for Construction

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21 16

OUTLET CONTROL STRUCTURE 2 SCALE: N.T.S.

RIM (GRATE) 321.00

OUTLET CONTROL STRUCTURE 1

3. WEIR CAN BE STEEL PLATE ANCHORED TO PRECAST MANHOLE.

1. WEIR CAN BE CONCRETE INSERTED PANEL IF GROOVES ARE CAST IN MANHOLE.

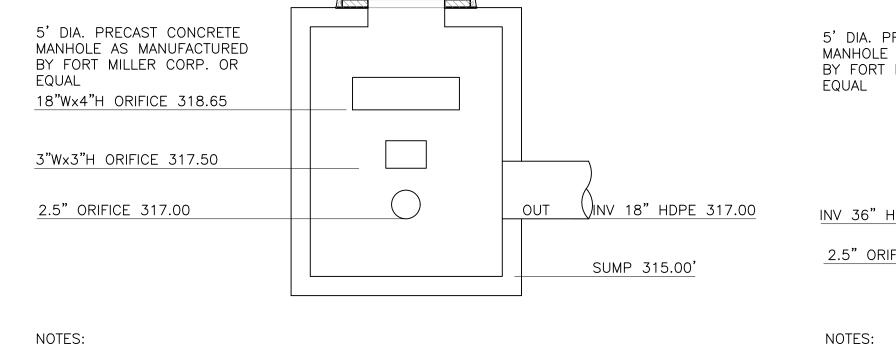
2. WEIR CAN BE FORMED IN MANHOLE IF DOWELS ARE SET IN BOTH SIDES AND BOTTOM

SCALE: N.T.S.

OF PRECAST MANHOLE.

4. BRICK AND MORTAR WEIR IS NOT ALLOWED.

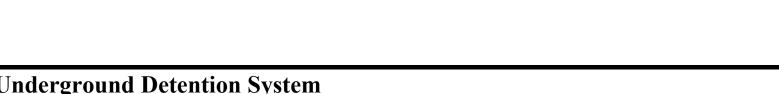
5. SUBMIT SHOP DRAWINGS TO ENGINEER FOR REVIEW.

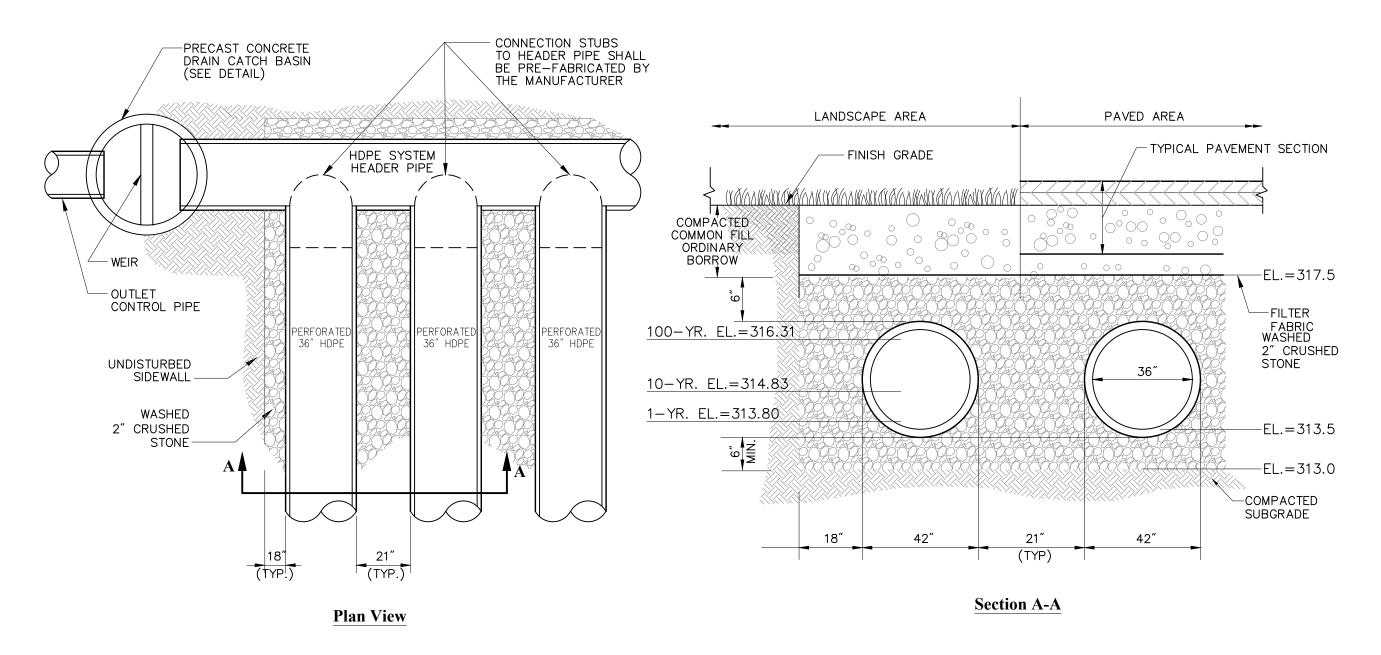


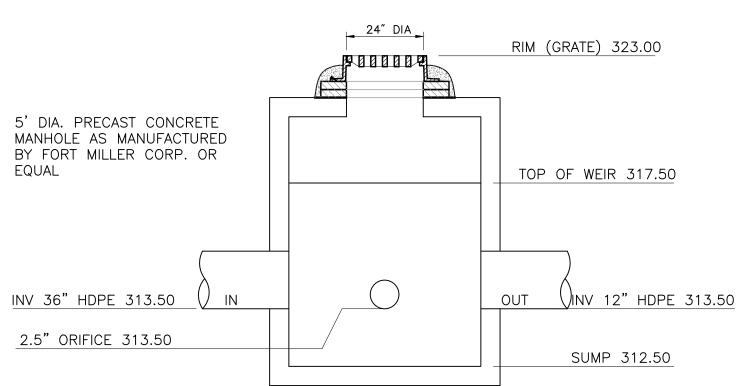
Underground Detention System N.T.S. Source: VHB

- 24" DIA -

P00000







4/11

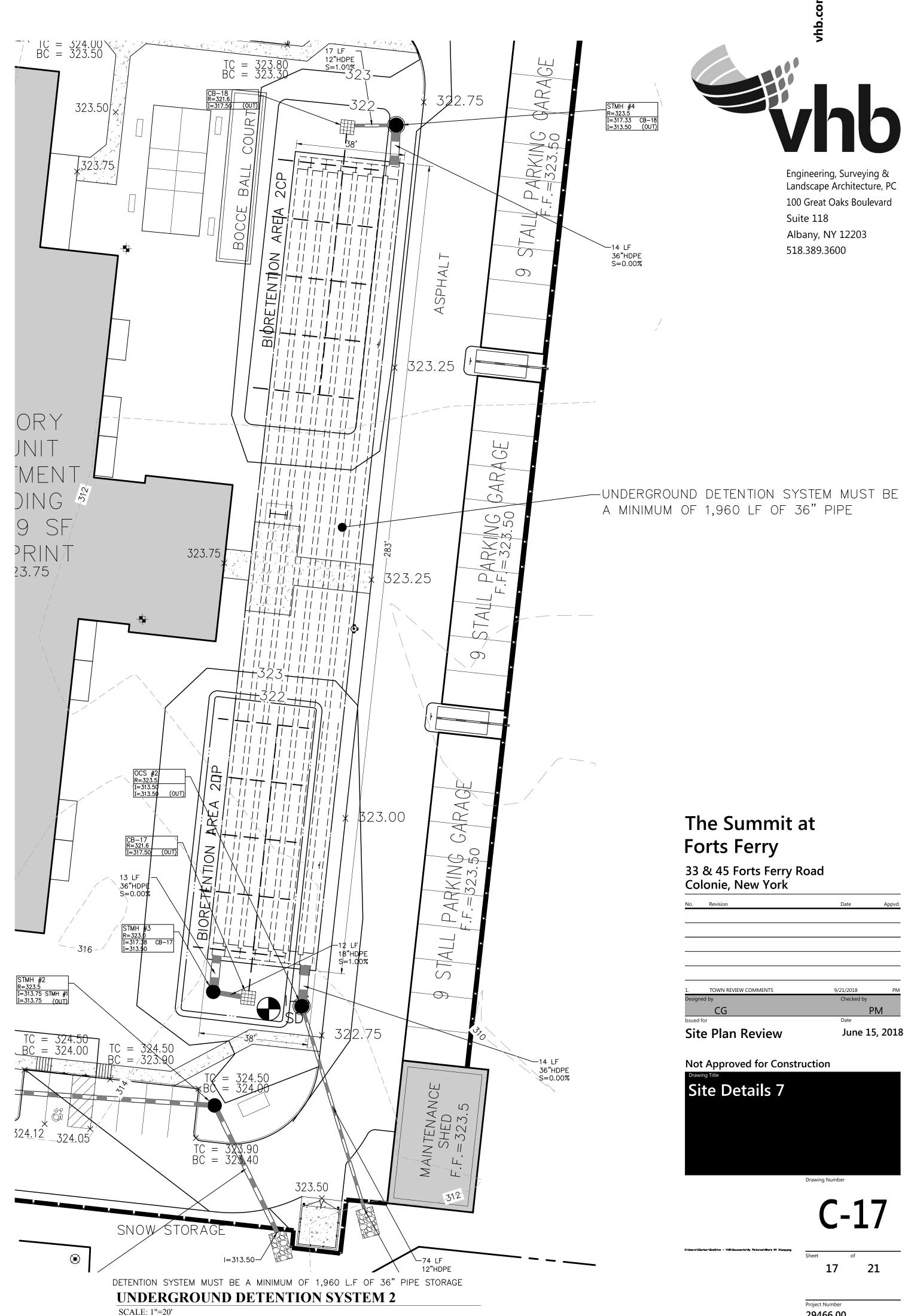
REV LD_183

1. WEIR CAN BE CONCRETE INSERTED PANEL IF GROOVES ARE CAST IN MANHOLE. 2. WEIR CAN BE FORMED IN MANHOLE IF DOWELS ARE SET IN BOTH SIDES AND BOTTOM OF PRECAST MANHOLE.

3. WEIR CAN BE STEEL PLATE ANCHORED TO PRECAST MANHOLE.

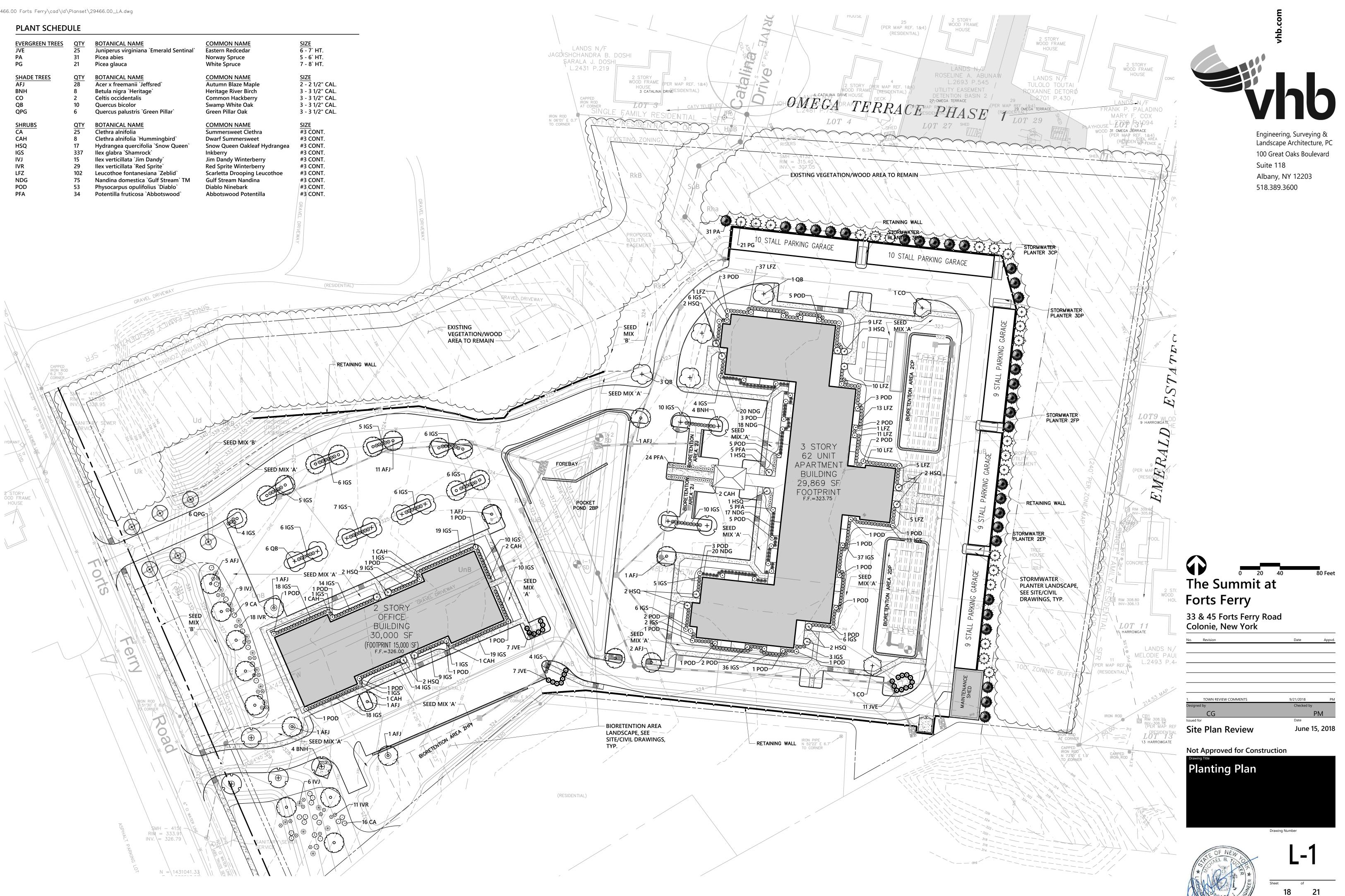
4. BRICK AND MORTAR WEIR IS NOT ALLOWED.

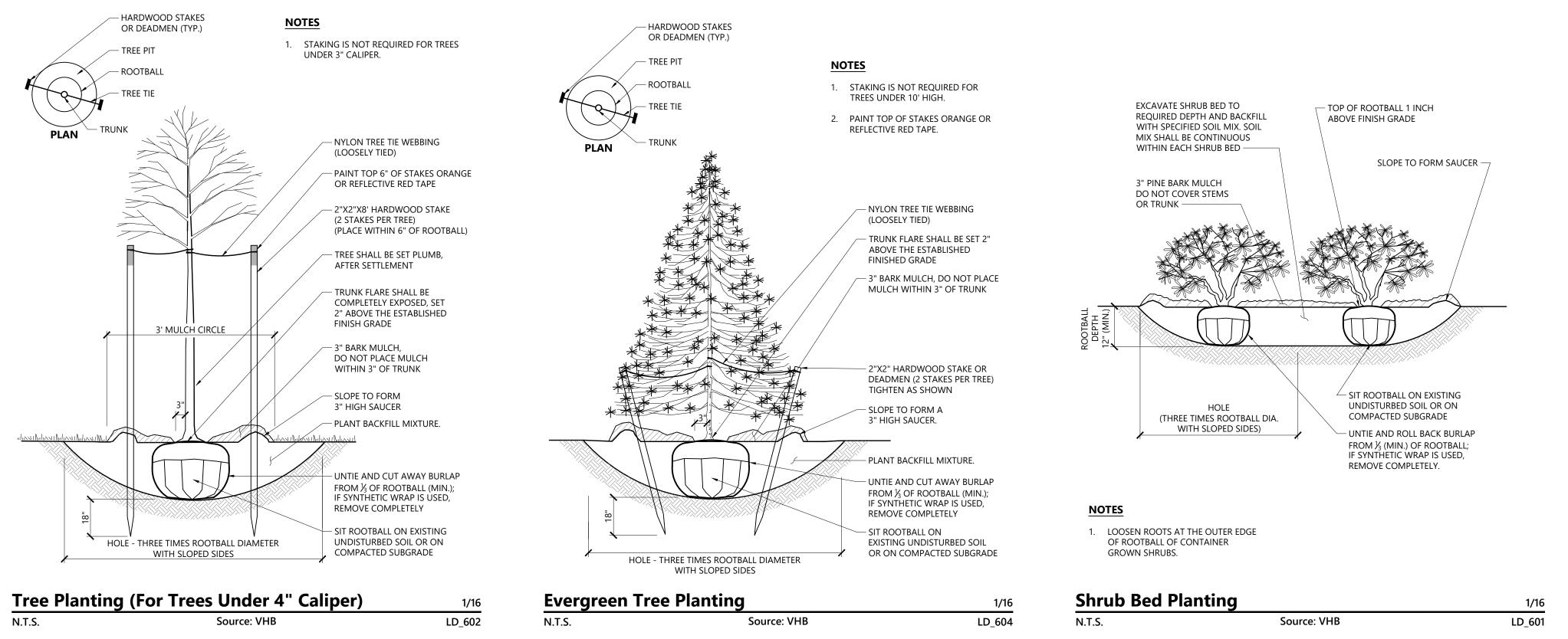
5. SUBMIT SHOP DRAWINGS TO ENGINEER FOR REVIEW.



29466.00







Tree Protection

- 1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- 2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.
- 4. NO UNAUTHORIZED TREE REMOVALS, UNLESS AS SPECIFIED ON CONTRACT DOCUMENTS, APPROVED BY LOCAL MUNICIPALITIES, AND LANDSCAPE ARCHITECT.

Edge of Woods Clearing

1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY EROSION CONTROL FENCE AND HAY BALE BARRIER. ERECT BARRIER AT EDGE OF THE EARTHWORK CUT LINE PRIOR TO TREE CLEARING. LAY OUT THIS LINE BY FIELD SURVEY.

Planting Notes

- 1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- 3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 5. ALL PLANTING BACKFILL SOILS SHALL RECEIVE CERTIFIED WEED-FREE FULLY COMPOSTED LEAF MOLD SOIL AMENDMENT AT A RATE OF 33% (1 PART COMPOST TO 2 PARTS PLANTING SOIL). SUBMIT COMPOST CERTIFICATION & PRODUCT DATA PRIOR TO ORDERING FOR APPROVAL.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- 7. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- 8. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- 9. ALL PLANT MATERIALS INSTALLED SHALL MEET THE LATEST SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY AMERICAN HORT AND CONTRACT DOCUMENTS.

- 10. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR TWO YEARS FOLLOWING DATE OF FINAL ACCEPTANCE.
- 11. AREAS DESIGNATED "TOPSOIL & SEED" SHALL RECEIVE MINIMUM 6" OF TOPSOIL AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- 12. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE TOPSOIL AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 13. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.
- 14. ALL SPECIFIED PLANT MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT AT BOTH THE NURSERY AND JOBSITE PRIOR TO INSTALLATION
- 15. CAREFULLY DISRUPT CIRCLING ROOTS FROM ALL CONTAINER-GROWN PLANTS, EXCEPT PLUGS, VIA TOOL SCARIFICATION OR BY HAND.
- 16. ALL B&B MATERIALS (I.E. BURLAP, TWINE, ETC) SHALL BE ALL **BIO-DEGRADABLE MATERIALS.**
- 17. ALL PLANTINGS SHALL RECEIVE BIOSTIMULANT (MYCORRHIZAL FUNGI) AS PER MANUFACTURER'S RECOMMENDED RATES. SUBMIT PRODUCT DATA FOR APPROVAL PRIOR TO ORDERING.
- 18. CONTRACTOR SHALL MAINTAIN (I.E. WEEDING, MULCHING, WATERING, CUT BEDS, REPLACEMENTS, ETC) ALL LANDSCAPE PLANTS AND AREAS WITHIN CONTRACT LIMITS DURING SPRING, SUMMER, AND FALL UNTIL EXPIRATION OF GUARANTEE PERIOD.

Turf Seeding Notes:

SEED MIX 'A': UNLESS OTHERWISE NOTED, ALL DISTURBED LANDSCAPE AREAS NOT BEING PLANTED, SHALL BE SEEDED WITH THE LATEST VERSION OF THE FOLLOWING SEED MIX (SEED MIX 'A'):

SS1000, AS PRODUCED BY:

SEED SUPER STORE	33.27% BULLSEYE TURF TYPE TALL FESCUE
PO BOX 812	33.15% Cochise IV TURF TYPE TALL FESCUE
BUFFALO, NY 14225	33.08% LS1200 TURF TYPE TALL FESCUE
716-531-8788	00.50% INERT MATTER
www.seedsuperstore.com	00.00% WEED SEED
OR, APPROVED EQUAL	

SEEDING RATE SHALL BE 8 lbs. PER 1,000.00 SQ. FT.

2. SEED MIX 'B': AS NOTED AND FOR AREAS BETWEEN PROPOSED PATRIOTS ROAD EDGE TREATMENT AND PROPOSED 5' WIDE SIDEWALK (AREA OF PROPOSED 4' HT. FENCE), SHALL BE SEEDED WITH THE LATEST VERSION OF THE FOLLOWING SEED MIX (SEED MIX 'B'):

SS8000 'NO-MOW HARD FESCUE BLEND', AS PRODUCED BY:

SEED SUPER STORE	33
PO BOX 812	33
BUFFALO, NY 14225	32
716-531-8788	00
www.seedsuperstore.com	n 00

3.24% SPARTAN II HARD FESCUE 3.00% BEACON HARD FESCUE 2.78% NANOOK HARD FESCUE 0.94% INERT MATTER 0.00% WEED SEED

OR, APPROVED EQUAL SEEDING RATE SHALL BE 5 lbs. PER 1,000.00 SQ. FT.

3. ALL SEEDING SHALL BE HYDRO-SEEDED WITH THE FOLLOWING ENGINEERED WOOD FIBER HYDROMULCH AS PER MANUFACTURER'S SPECIFICATIONS. SUBMIT SAMPLE & PRODUCT DATA FOR APPROVAL

PRIOR TO ORDERING. FLEXTERRA HP-FGM - MANUFACTURED BY: PROFILE PRODUCTS 750 W. LAKE COOK RD SUITE 440 BUFFALO GROVE, IL 60089 1-800-207-6457

OR, APPROVED EQUAL.

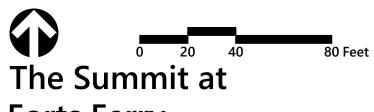
- 4. ALTERNATE BID #1 UNLESS OTHERWISE NOTED, ALL DISTURBED LANDSCAPE AREAS NOT BEING PLANTED OR MULCHED, SHALL BE SODED WITH A TURF-TYPE TALL FESCUE BLEND SOD PRODUCT.
- 5. CONTRACTOR SHALL SUBMIT SOURCE, SAMPLE, AND CERTIFIED SEED ANALYSIS FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO ORDERING.



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Plant Maintenance Notes

- 1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE TWO YEAR PLANT GUARANTEE PERIOD.
- 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- 3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- 4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- 5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE TWO YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.



Forts Ferry

33 & 45 Forts Ferry Road Colonie, New York

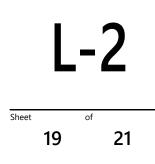
Revision	Date	Appvd.
TOWN REVIEW COMMENTS	9/21/2018	PM
ed by	Checked by	
CG	F	РМ
for	Date	
e Plan Review	June 1	5, 2018
	TOWN REVIEW COMMENTS ed by CG	TOWN REVIEW COMMENTS 9/21/2018 ed by Checked by CG For Date

Not Approved for Construction

Planting Notes & Details

Drawing Number





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Schedule Symbol	Label	Quantity	/ Manufacturer Hubbell Lighting Inc	Catalog Number VP-S-48L-110-4K7-2-BC	Description SMALL VIPER - TYPE 2 OPTICAL PATTERN -	Lamp LED 4000K	Number Lamps	Filename VP-S-48L-110-4K7-2-BC.ies	Lumens Per Lamp 9262	Light Loss Factor 0.9	Wattage 109.78	
	S2	5	Hubbell Lighting Inc	VP-S-48L-110-4K7-3-BC	SMALL VIPER - TYPE 3 OPTICAL PATTERN -	LED 4000K	1	VP-S-48L-110-4K7-3-BC.ies	8435	0.9	109.78	
	S3	13	Hubbell Lighting Inc, dba	VP-S-48L-110-4K7-4	BACK LIGHT CONTROL - SINGLE SMALL VIPER - TYPE 4 OPTICAL PATTERN -	LED 4000K	1	VP-S-48L-110-4K7-4.ies	12070	0.9	108	
	S4	6	Hubbell Lighting Inc, dba	VP-S-48L-110-4K7-3	SINGLE VITER - TYPE 3 OPTICAL PATTERN -	LED 4000K		VP-S-48L-110-4K7-3.ies	12275	0.9	216	
	S5	14	HUBBELL OUTDOOR	LNC2-18L-4K-070-4	LitePak LNC2 - WALL MOUNT - TYPE 4	LED 4000K	1	LNC2-18L-4K-070-4.IES	4269	0.9	43.227	
	W	14		LNC2-10L-4K-070-4	OPTICAL PATTERN				+205	0.9	45.227	
	+0.1 +0.2 +0.1 +0.1	+0.4 +1.1 +0.5 ++.	$\begin{array}{c} & & & & & & \\ & & & & & \\ & & & & & \\ & & & & \\ & & & & \\ & & &$	$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	102 103 104 107 1.1 1.7 105 10.7 110 11.4 11.9 12.7 110 11.1 11.5 11.7 12.3 12.9 11.3 11.2 11.5 11.8 12.2 32.2 116 11.3 11.5 11.8 12.2 32.1 11.8 11.3 11.5 11.8 12.1 22.8 11.8 11.7 11.6 11.8 12.7 11.8 12.7 12.0 11.8 11.7 11.6 11.6 11.8 12.7 11.6 11.8 12.0 11.8 11.7 11.6 11.6 11.8 12.7 11.6 11.8 12.0 11.8 11.7 11.6 11.6 11.8 12.7 11.6 11.8 12.7 11.6 11.8 12.2 12.7 12.7 12.7 12.7 12.7 12.7 12.7 12.7 12.7 12.7 12.7	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	1.0 1.2 1.0 1.2 1.0 1.3 1.7 1.8 1.6 1.3 0.8 2.7 2.3 1.9 1.6 0.8 3.7 2.8 2.1 1.9 1.2 3.7 4.2 2.4 2.0 1.8 4.20 3.6 2.5 2.2 1.9 4.7 3.7 2.5 2.1 1.9 4.7 3.7 2.5 2.1 1.9 4.7 3.7 2.5 2.1 1.9 4.7 3.7 2.5 2.1 1.9 2.3 2.8 3.0 2.9 2.5 72.9 4.1 4.7 3.8 3.0 3.2 3.3 5.6 9.80 3.7 2.6 3.3 3.1 2.3 3.6 4.3 3.2 3.3 5.6 9.80 5.7 5.7 7.6 7.5 7.2 7.7 $7.$	^{+0.1} ^{+0.1} ^{+0.2} ^{+0.1} ^{+0.3} ^{+0.1} ^{+0.1} ^{+0.3} ^{+0.1} ^{+0.1} ^{+0.3} ^{+0.1} ^{+0.1} ^{+0.3} ^{+0.2} ^{+1.8} ^{+1.1} ^{+1.4} ^{+2.4} ^{+1.5} ^{+1.6} ^{+1.9} ^{+2.2} ^{+1.8} ^{+1.7} ^{+1.8} ^{+1.9} ^{+1.8} ^{+1.5} ^{+1.3} ^{+1.4} ^{+1.9} ^{+1.8} ^{+1.9} ^{+2.0} ^{+2.2} ^{+2.1} ^{+1.9} ^{+2.0} ^{+2.4} ^{+2.2} ^{+1.9} ^{+2.2} ^{+2.6} ^{+2.2} ^{+2.3} ^{+2.3} ^{+2.5} ^{+2.2} ^{+2.0} ^{+2.1} ^{+2.6} ^{+2.2} ^{+2.3} ^{+2.3} ^{+2.5} ^{+2.2} ^{+2.0} ^{+2.1} ^{+1.6} ^{+1.6} ^{+1.6} ^{+1.6} ^{+1.2} ^{+0.3} ^{+0.6} ^{+0.7} ^{+0.4} ^{+0.4} ^{+0.4} ^{+0.5} ^{+0.2} ^{+0.4} ^{+0.4} ^{+0.4} ^{+0.5} ^{+0.2} ^{+0.4} ^{+0.4} ^{+0.4} ^{+0.5} ^{+0.2} ^{+0.1} ^{+0.4} ^{+0.4} ^{+0.5} ^{+0.2} ^{+0.1} ^{+0.4} ^{+0.4} ^{+0.5} ^{+0.2} ^{+0.3} ^{+0.4} ^{+0.4} ^{+0.5} ^{+0.2} ^{+0.3} ^{+0.4} ^{+0.4} ^{+0.5} ^{+0.2} ^{+0.3} ^{+0.4} ^{+0.4} ^{+0.4} ^{+0.5} ^{+0.2} ^{+0.3} ^{+0.4} ^{+0.4} ^{+0.4} ^{+0.5} ^{+0.2} ^{+0.3} ^{+0.4} ^{+0.4} ^{+0.4} ^{+0.5}	53 20° 2.9 4.1 3.5 5.7 3.3 3.3 3.2 5.8 2.0 52.2 1.8 1.7 1.2 1.7 1.6 10.7 1.5 1.9 2.6 0.4 1.5 1.9 2.6 0.4 1.5 1.9 2.6 0.4 1.2 1.7 1.6 1.7 1.2 1.2 1.2 1.2 1.2 1.4 1.2 1.2 1.4 1.7 1.8 1.8 1.2 1.6 1.8 1.1 1.8 1.9 1.8 1.8 1.2 1.6 1.7 1.8 1.8 1.2 1.6 1.7 1.8 1.7 1.8 1.9 1.8 1.8 1.1 1.2 1.4 1.7 1.8 1.6 1.0 1.4 1.7 1.8 1.6 $1.2.0$ 1.4	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	$\begin{array}{cccccccccccccccccccccccccccccccccccc$

+0.9 /+2.6 +3.4 +1.9 /+0.3 +0.1 +0.1 ⁺1.2 ⁺2.6 ⁺2.0 ⁺0.8 ⁺0.2 ⁺0.2 ⁺0.1 +1.3 // +1.8 +1.\$ // +0.4 +0.4 +0.4 +1.4 +1.5 +1.2 +0.7 +0.9 +0.81.6 1.8 1.7 1.5 1.6 1.4 1.2 0.7⁺3.0 ⁺1.7 ⁺1.4 ⁺1.2 ⁺1.5 ⁺2.0 ⁺2.2 ⁺2.1 ⁺2.1 ⁺2.1 ⁺2.0 ⁺1.8 ⁺1.4 ⁺1.0 ⁺1.1 ⁺1.0 ⁺1.1 ⁺1.0 ⁺2.6 ⁺3.9 ⁺3.6 ⁺2.9 ⁺2.0 ⁺1.7 ⁺1.4 ⁺/8 ⁺2.4 ⁺2.6 ⁺3.0 ⁺2.9 ⁺2.5 ⁺2.3 ⁺1.7 ⁺1.3 ⁺1.5 ⁺1.7 ⁺1.7 ⁺1.9 +2.6 +3.2 +3.0 +2.5 +1.7 +1.3 +1.1 +1.8 +2.8 +3.9 +4.4 +4.4 +3.4 +2.6 +1.8 +1.3 +1.8 +1.9 +2.2 +2.4+2.0 +1.8 +1.9 +1.1 +0.9 +0.6 +0 +2.0 +3.6 +4.6 +5.8 +5.1 +4.8 +2.8 +2.0 +1.6 +2.1 +2.1 +2.1 +2.8 +3.2+12 +0.8 +0.5 +0.3 +0.2 +0.3 +0.7 +1.8 +3.3 +4.4 +4.4 +4.8 +4.6 +2.9 +2.0 +1.6 +2.3 +2.3 +3.7 +4.2 +0.4 +0.2 +0.2 +0.1 +0.1 +0.1 +0.2 108 ⁺1.7 ⁺2.7 ⁺3.1 ⁺4.0 ⁺3.9 ⁺3.5 ⁺2.4 ⁺1.7 ⁺1.5 ⁺2.0 ⁺2.0 ⁺2.9 $^{+}0.2$ $^{+}0.1$ $^{+}0.1$ $^{+}0.1$ $^{+}0.1$ $^{+}0.8$ $^{+}0.9$ $^{+}1.8$ $^{+}2.5$ $^{+}2.5$ $^{+}2.7$ $^{+}2.7$ $^{+}2.7$ $^{+}2.7$ $^{+}2.7$ $^{+}1.5$ $^{+}1.4$ $^{+}1.8$ $^{+}1.8$ $^{+}2.1$ ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.1 +**0.4** +**1**.3 +**2**.1 +**2**.3 +**2**.3 +**2**.1 +**2**.5 +**2**.3 +**1**.9 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.1 05 +1.3 +2.0 +2.3 +2.2 +2.1 +2.5 +2.3 +1.9 +0 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.2 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.2 ⁺0.5 ⁺1.3 ⁺2.0 ⁺2.4 ⁺2.3 ⁺2.2 ⁺2.4 ⁺2.1 ⁺1.7 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.2 ⁺0.5 ⁺1.4 ⁺2.3 ⁺2.6 ⁺3.0 ⁺2.8 ⁺2.6 ⁺2.4 ⁺1.7 ⁺1.2 ⁺1.2 ⁺1.4 ⁺1.3 ⁺1.5 ⁺1.1 +0.1 +0.1 +0.1 +0.1 +0.1 +0.2 +0.2 +1.7 +2.8 +3.8 +4.2 +4.4 +3.4 +1.2 +1.8 +1.4 +1.7 +1.7 +1.8 +2.2 +1.9 +0.17 $^{+}0.1$ $^{+}0.1$ $^{+}0.1$ $^{+}0.1$ $^{+}0.1$ $^{+}0.1$ $^{+}0.6$ $^{+}2.0$ $^{+}3.8$ $^{+}4.7$ $^{+}5.6$ $^{+}4.9$ $^{+}4.6$ $^{+}2.7$ $^{+}1.9$ $^{+}1.5$ $^{+}2.0$ $^{+}1.9$ $^{+}2.5$ $^{+}2.7$ $^{+}1.6$ $^{+}1.6$ $^{+}1.6$ S5 @ 20 +0.1 +0.1 +0.1 +0.1 +0.1 +0.2 +0.7 +1.9 +3.6 +4.3 +4.1 +4.7 +4.3 +2.7 +1.8 +1.6 +2.3 +2.3 +3.4 +3.7 +1.8 +0.6⁺0.1 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.2 ⁺0.8 ⁺1.7 ⁺2.8 ⁺3.2 ⁺3.9 ⁺3.7 ⁺3.4 ⁺2.3 ⁺1.7 ⁺1.7 ⁺2.2 ⁺2.4 ⁺3.6 ⁺4.1 ⁵⁴.9 20 0.2 $^{+}0.1$ $^{+}0.1$ $^{+}0.1$ $^{+}0.2$ $^{+}018$ $^{+}1.6$ $^{+}2.3$ $^{+}2.4$ $^{+}2.7$ $^{+}2.6$ $^{+}2.5$ $^{+}2.0$ $^{+}1.5$ $^{+}1.5$ $^{+}1.5$ $^{+}1.9$ $^{+}2.0$ $^{+}2.7$ $^{+}3.2$ $\binom{+}{9}.6$ +0.3 +0.2 +0.1 +0.1 +0.3 +0.8 +1.4 +1.7 +1.9 +2.1 +2.1 +2.0 +1.7 +1.3 +1.3 +1.7 +1.7 +1.9 +2.4 +0.3 $+0.3_{25}$ +0.2 +0.1 +0.1 +0.3 +0.8 +1.3 +1.4 +1.4 +1.4 +1.4 +1.6 $+1.4_{-1}$ +0.9 +0.9 $+1.2_{-1.3}$ $+1.5_{-1.5}$ +2.8 +0.1 $^{+}0.2$ $^{+}0.1$ $^{+}0.1$ $^{+}0.2$ $^{+}0.4$ $^{+}0.7$ $^{+}1.0$ $^{+}1.2$ $^{+}0.9$ $^{+}1.2$ $^{+}0.9$ $^{+}1.2$ $^{+}1.0$ $^{+}0.9$ ⁺0.4 ⁺0.4 +0.1 +0.1 +0.1 +0.2 +0.4 +0.7 +1.2 +1.5 +1.4 +1.3 +1.5 +0.6 t0.2 t0.1 t0.2 t0.3 t0.5 t0.8 t1.4 t1.8 t1.7 t1.8 t2.5 t0.4 t0.3 $t_{0,4}$ $t_{0,2}$ $t_{0,2}$ $t_{0,3}$ $t_{0,5}$ $t_{0,9}$ $t_{1,6}$ $t_{1,9}$ $t_{2,1}$ $t_{2,4}$ $t_{2,8}$ $t_{0,4}$ $t_{1,2}$ 2.0 +0.3 +0.4 +0.4 +0.5 +1.0 +1.9 +2.1 +2.7 +3.3 +3.4 +0.535 +1.2 +0.4 +0.5 +0.7 +1.1 +2.0 +2.2 +3.2 +3.9 +4.54 0080 ⁺4.1 **5**4 **29**.6 ⁺0.6 ⁺0.6 ⁺1.1 ⁺1.8 ⁺1.9 ⁺2.6 ⁺3.1 ⁺2.6 ⁺0.6 ⁺

⁺4.7 ⁺1.8

S2 @ 20' ⁺0.6 ⁺5 1 ⁺5.3 ⁺2.4 ⁺0.

+1.8 +4.8 +3.5 0.9

+3.5 +3.2 +0.4 +0.6 +1.0 +1.6 +1.7 +2.0 +2.5 +1.7 +0.5 +0.7 +0.8 +0.7 $^{+}1.9$ $^{+}2.2$ $^{+}2.2$ $^{+}1.0$ $^{+}1.4$ $^{+}1.5$ $^{+}1.6$ $^{+}1.8$ $^{+}1.3$ $^{+}0.7$ $^{+}0.8$ $^{+}1.6$ $^{+}1.8$ $^{+}2.0$ $^{+}2.3$ $^{+}2.2$ $^{+}1.9$ $^{+}1.5$ $^{+}1.4$ $^{+}1.4$ $^{+}1.4$ $^{+}1.5$ $^{+}1.6$ $^{+}1.6$ $^{+}$ ⁺1.4 ⁺1.2 ⁺1.4 ⁺1.8 ⁺2.7 ⁺3.3 ⁺3.9 ⁺3.1 ⁺2.8 ⁺2.7 ⁺2.0 ⁺2.0 ⁺2.2 ⁺2.1 ⁺2.2 ⁺2.5 ⁺2.3 ⁺1.9 ⁺1.7 ⁺1.6 ⁺1.6 ⁺1.8 ⁺1.9 ⁺2.2 ⁺2.2 ⁺1.9 ⁺1.6 ⁺1.5 ⁺1.4 ⁺1.5 ⁺1.6 ⁺1.8 ⁺1.7 ⁺1.4 ⁺1.3 ⁺1.2 ⁺1.8 ⁺3.5 ⁺2.6 ⁺0.1 ⁺0.1 ⁺0.1 ⁺0.2 ⁺0.3 ⁺0.4 ⁺0.8 ⁺1.5 ²0.⁺2.9 ⁺1.9 ⁺1.7 ⁺2.0 ⁺2.9 ⁺2.9 ⁺3.6 ⁺4.2 ⁺3.5 ⁺2.6 ⁺2.3 ⁺2.0 ⁺2.0 ⁺2.2 ⁺2.9 ⁺3.7 ⁺3.2 ⁺2.4 ⁺1.8 ⁺1.5 ⁺1.6 ⁺1.9 ⁺2.3 ⁺2.8 ⁺2.5 ⁺2.0 ⁺1.8 ⁺1.6 ⁺1.5 ⁺4.2 ⁺4.8

