

Site Plans

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| Issued for | Site Plan Review |
| Date Issued | June 15, 2018 |
| Latest Issue | September 21, 2018 |

The Summit at Forts Ferry

33 & 45 Forts Ferry Road
Colonie, NY 12110



Engineering, Surveying &
Landscape Architecture, PC
100 Great Oaks Boulevard
Suite 118
Albany, NY 12203
518.389.3600

Owner

Nigro Group, LLC
18 Computer Drive East, Suite 107
Albany, Ny 12205

Applicant

Nigro Group, LLC
18 Computer Drive East, Suite 107
Albany, Ny 12205

**Assessor's Map: 19.1-
Lot: 1-28.1 & 1-27.2**

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WAIVERS:
MAXIMUM FRONT YARD SETBACK OF 20 FEET.
PROPOSING A FRONT YARD SETBACK OF 100
FEET TO THE FRONT BUILDING.

TOWN OF COLONIE PLANNING BOARD



Legend

Legend table with columns: Exist., Prop., and descriptions for various site features like PROPERTY LINE, CONCRETE, ROAD, and UTILITIES.

Abbreviations

Abbreviations table with columns: General, and lists of codes for items like ABAN, ACR, ADJ, APPROX, BIT, BS, BWLL, CONC, DYCL, EL, ELEV, EX, FDN, FFE, GRAN, GTD, LA, LOD, MAX, MIN, NIC, NTS, PERF, PROP, REM, RET, R&D, R&R, SWEL, SWLL, TS, TYP, CB, CMP, CO, DCB, DMH, CIP, COND, DIP, FES, FM, F&G, F&C, GI, GT, HDPE, HH, HW, HYD, INV, I=, LP, MES, PIV, PWW, PVC, RCP, R=, SMH, TSV, UG, UP.

Notes

- General: DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
Demolition: 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC.
Erosion Control: 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
Utilities: 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVES HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS.
Town of Colonie Standard Notes: 1. THE APPLICANT SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO THE STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQR), FRESHWATER WETLANDS PERMIT REGULATIONS, THE TOWN GRADING LAW, AND THE TOWN FLOOD PLAINS MANAGEMENT.



The Summit at Forts Ferry
33 & 45 Forts Ferry Road
Colonie, New York
Table with columns: No., Revision, Date, Apprd.
1. TOWN REVIEW COMMENTS 9/21/2018 PM
Designed by CG Checked by PM
Issued for CG Date June 15, 2018
Site Plan Review June 15, 2018

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Legend and General Notes
Drawing Number
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| Map Unit Symbol | Map Unit Name | Percent of Site |
|-----------------|--|-----------------|
| HuB | Hudson silt loam, 3 to 8 percent slopes | 28.0% |
| RhA | Riverhead fine sandy loam, 0 to 3 percent slopes | 23.1% |
| RkA | Riverhead fine sandy loam, 3 to 8 percent slopes | 22.3% |
| SuB | Sudbury fine sandy loam, 3 to 8 percent slopes | 3.3% |
| Ud | Udipassamts, Smoothed | 3.5% |
| Uk | Urodtents, loamy-urban land complex | 4.7% |
| UnB | Unadilla silt loam, 3 to 8 percent slopes | 15.1% |



vhb

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| Borings | |
|--------------|---|
| B #3 | 0-1.5' +/- 18" shale over brown fine to coarse sand, little gravel and silt (moist and firm) 1.5'-10' Light brown silt, moist, grades light brown silt and clay, moist (moist, firm/medium) Groundwater elev. = 312' |
| B #7 | 0-5' Light gray/brown mottled silt and clay (moist to wet, soft) 5'-10' Gray silt, wet, grades some fine sand (wet, compact to loose) No Groundwater at elev. = 296' |
| B #9 | 0-6' +/- 8" topsoil over gray/brown mottled silt and clay (moist, very soft), brown to gray silt (wet) 6'-8' Gray gravel, some sand, little silt (wet, firm) No Groundwater at elev. = 294' |
| B #10 | 0-5' +/- 8" topsoil over light brown/gray mottled silt, some clay (moist to wet, very soft) 5'-10' Brown fine sand, little silt, wet (wet, loose) Groundwater elev. = 310' |
| B #13 | 0-5' +/- topsoil over light brown silt, little sand and gravel (moist to wet) 5'-10' Gray fine sand and silt (wet, firm) Groundwater elev. = 314' |

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Colonie, New York

No. Revision Date Appd.

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Existing Conditions Plan

Drawing Number

STATE OF NEW YORK
MICHAEL B. TULLER
Professional Engineer

C-2

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Project Number 29466.00

Parking Summary Chart

| Description | Size | | Spaces | |
|------------------------------|----------|----------|------------|------------|
| | Required | Provided | Required | Provided |
| STANDARD SPACES | 9 x 18 | 9 x 18 | 248 | 261 |
| STANDARD ACCESSIBLE SPACES * | 8 x 18 | 8 x 18 | 8 | 12 |
| VAN ACCESSIBLE SPACES * | 8 x 18 | 8 x 18 | 2 | 2 |
| TOTAL SPACES | | | 258 | 275 |

* ADA/STATE/LOCAL REQUIREMENTS

Parking Requirements:

| Description | | Required | Provided |
|-------------------------------|--------------------|---------------------|-------------------|
| 30,000 SF | x 1 SPACE / 225 SF | = 134 SPACES | 134 SPACES |
| 62 UNITS | x 2 SPACES / UNIT | = 124 SPACES | 141 SPACES |
| TOTAL PARKING REQUIRED | | = 258 SPACES | 275 SPACES |

Site Coverage Statistics

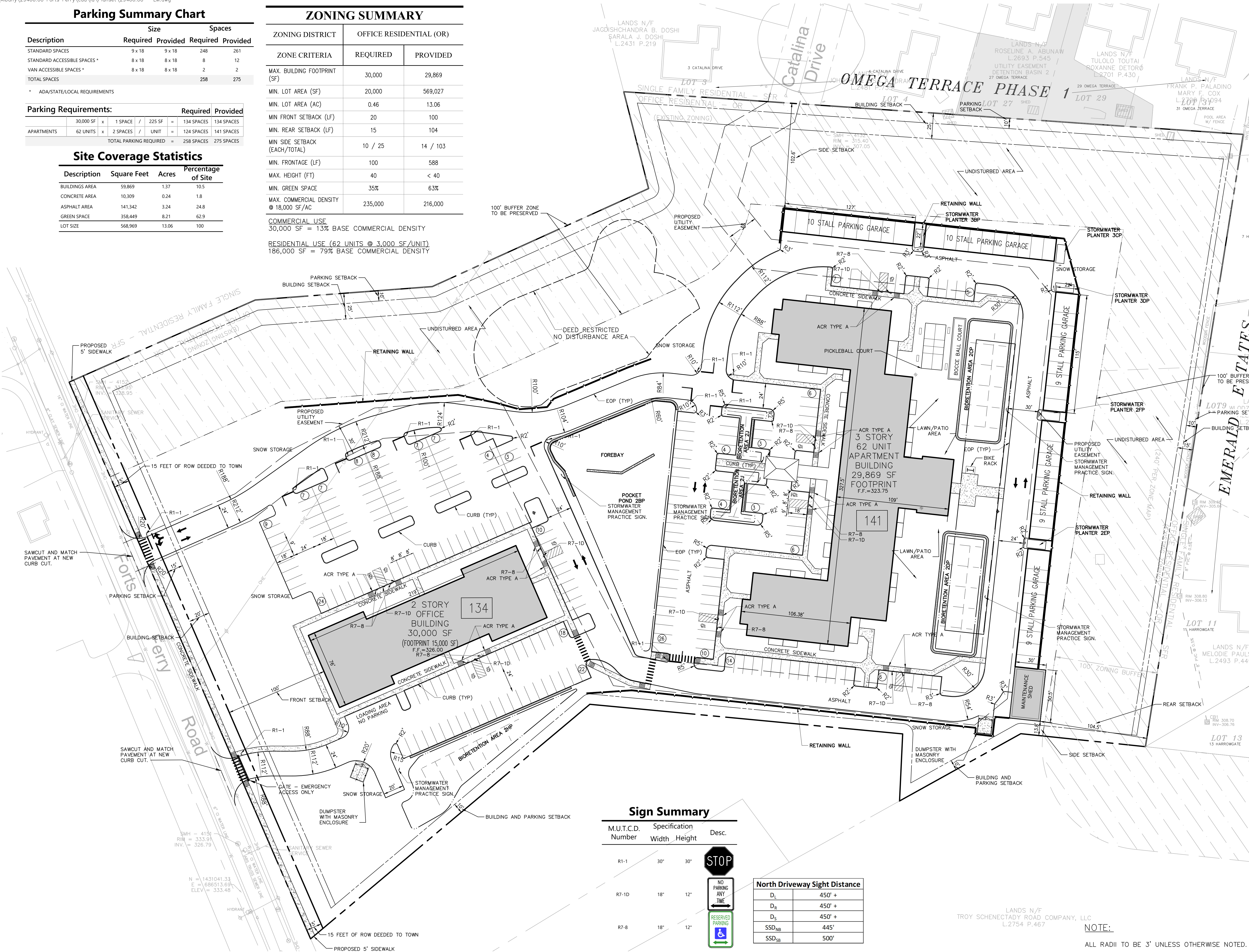
| Description | Square Feet | Acres | Percentage of Site |
|----------------|-------------|-------|--------------------|
| BUILDINGS AREA | 59,869 | 1.37 | 10.5 |
| CONCRETE AREA | 10,309 | 0.24 | 1.8 |
| ASPHALT AREA | 141,342 | 3.24 | 24.8 |
| GREEN SPACE | 358,449 | 8.21 | 62.9 |
| LOT SIZE | 568,969 | 13.06 | 100 |

ZONING SUMMARY

| ZONING DISTRICT | OFFICE RESIDENTIAL (OR) | |
|--|-------------------------|----------|
| | REQUIRED | PROVIDED |
| MAX. BUILDING FOOTPRINT (SF) | 30,000 | 29,869 |
| MIN. LOT AREA (SF) | 20,000 | 569,027 |
| MIN. LOT AREA (AC) | 0.46 | 13.06 |
| MIN FRONT SETBACK (LF) | 20 | 100 |
| MIN. REAR SETBACK (LF) | 15 | 104 |
| MIN SIDE SETBACK (EACH/TOTAL) | 10 / 25 | 14 / 103 |
| MIN. FRONTAGE (LF) | 100 | 588 |
| MAX. HEIGHT (FT) | 40 | < 40 |
| MIN. GREEN SPACE | 35% | 63% |
| MAX. COMMERCIAL DENSITY @ 18,000 SF/AC | 235,000 | 216,000 |

COMMERCIAL USE
30,000 SF = 13% BASE COMMERCIAL DENSITY

RESIDENTIAL USE (62 UNITS @ 3,000 SF/UNIT)
186,000 SF = 79% BASE COMMERCIAL DENSITY



Sign Summary

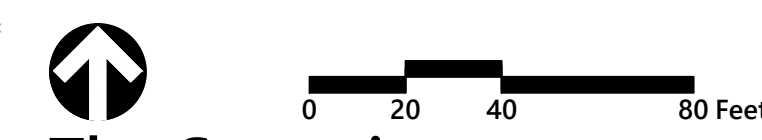
| M.U.T.C.D. Number | Specification Width | Specification Height | Desc. |
|-------------------|---------------------|----------------------|---------------------|
| R1-1 | 30" | 30" | STOP |
| R7-1D | 18" | 12" | NO PARKING ANY TIME |
| R7-8 | 18" | 12" | RESERVED PARKING |

North Driveway Sight Distance

| | |
|-------------------|--------|
| D _L | 450' + |
| D _R | 450' + |
| D _S | 450' + |
| SSD _{NB} | 445' |
| SSD _{SB} | 500' |

NOTES:

STORMWATER MANAGEMENT AREAS CANNOT BE USED FOR SNOW STORAGE.



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Layout and Materials Plan

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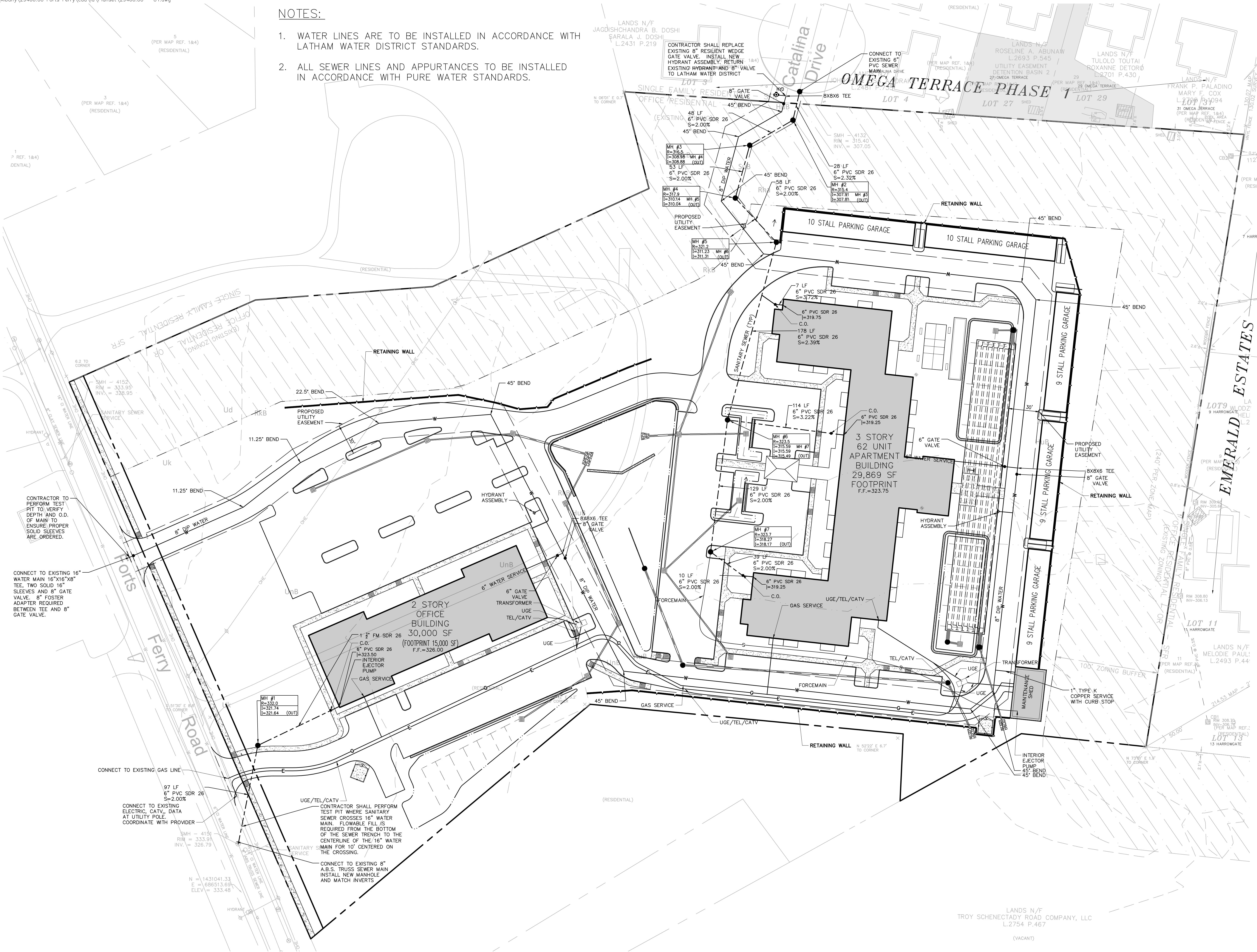
Project Number: 29466.00



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NOTES:

1. WATER LINES ARE TO BE INSTALLED IN ACCORDANCE WITH LATHAM WATER DISTRICT STANDARDS.
2. ALL SEWER LINES AND APPURTANCES TO BE INSTALLED IN ACCORDANCE WITH PURE WATER STANDARDS.



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Utility Plan

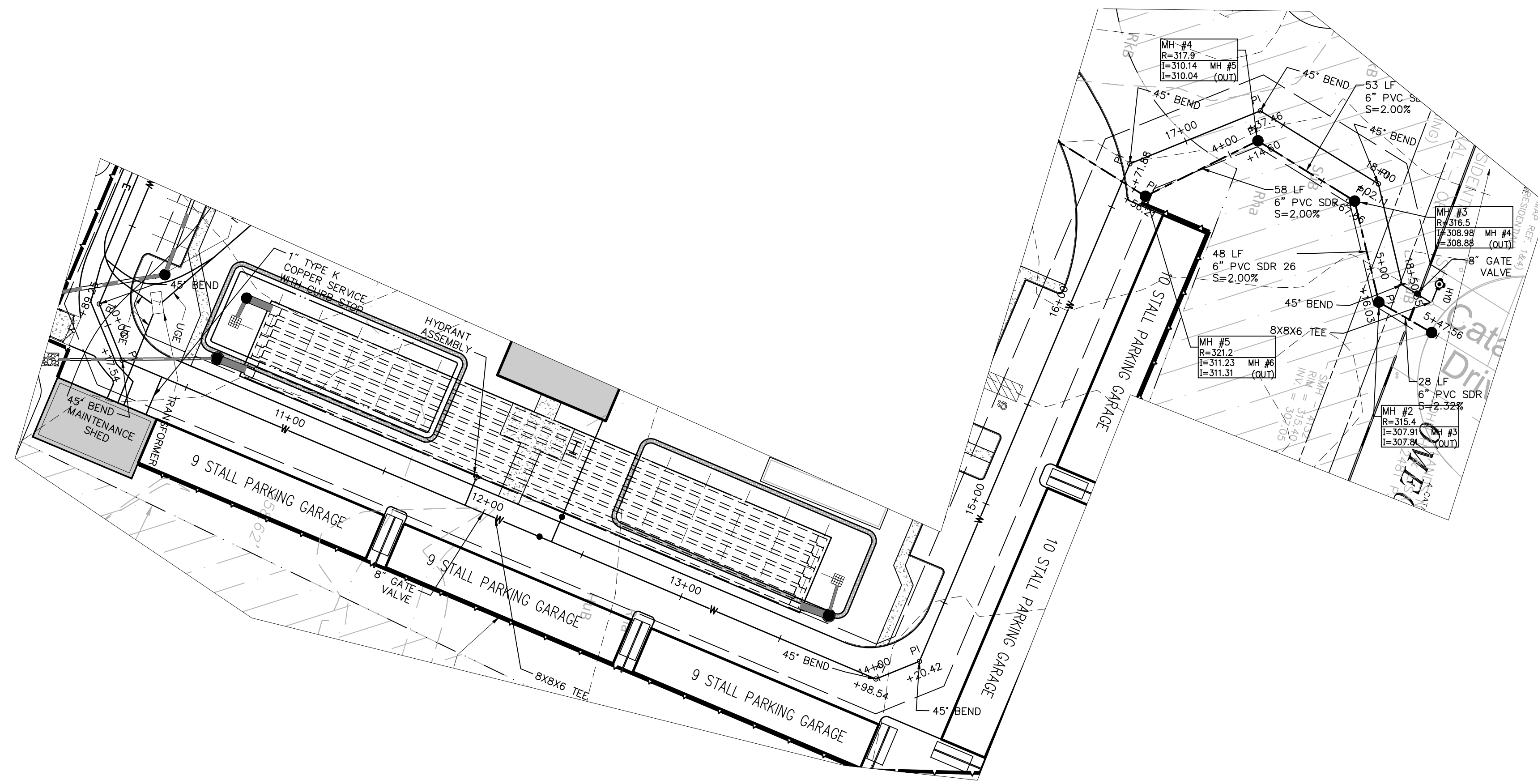


C-5

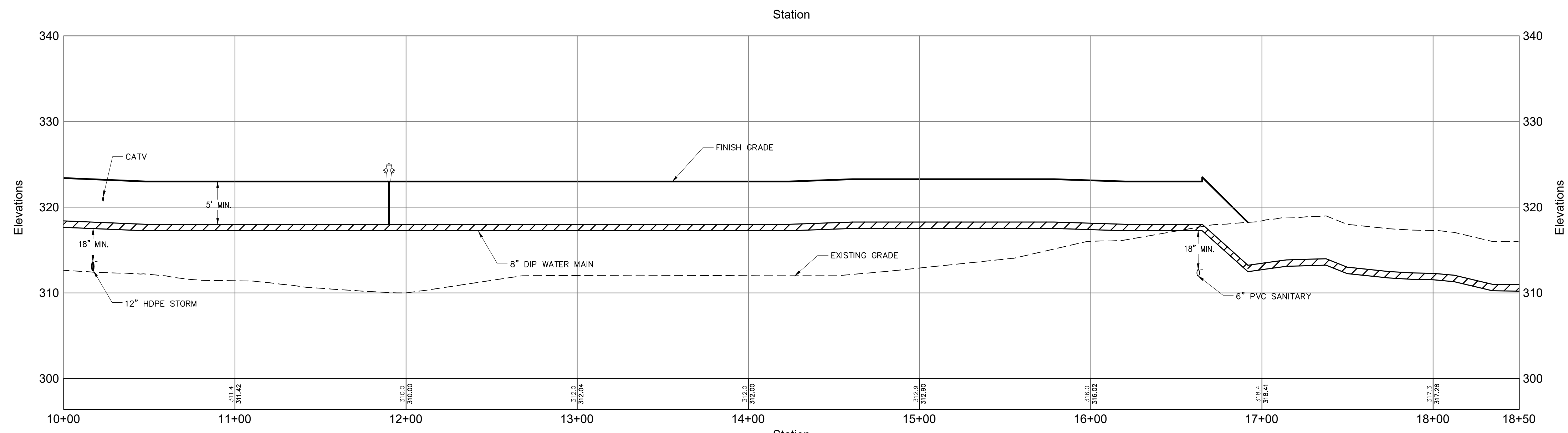
Sheet 5 of 21

Project Number 29466.00

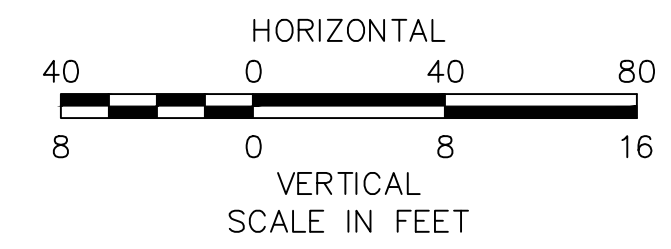
Saved Thursday, September 20, 2018 2:59:36 PM CGABBER Plotted Thursday, September 20, 2018 7:35:30 PM Garber, Christian



PLAN VIEW



Water Main Profile 10+00-18+50



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Drawing Title
Water Main Profile
St. 10+00 - St. 18+50



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Sheet 8 of 21



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Temporary Erosion and Sedimentation Control Maintenance (Throughout Construction)

THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING EACH CONTROL SHOWN ON THE SOIL EROSION & SEDIMENT CONTROL PLAN.

THE EROSION AND SEDIMENTATION CONTROLS SHOWN HEREON ARE PERIMETER MEASURES ONLY AND ARE PROVIDED AS A STARTING POINT FOR CONTRACTOR'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR IS REQUIRED TO PROVIDE ADDITIONAL INTERIM CONTROLS TO MANAGE EROSION AND SEDIMENTATION DURING CONSTRUCTION TO PREVENT IMPACTS TO RESOURCE AREAS, ROADWAYS, AND ADJACENT PROPERTIES.

THE SITE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS. RECORDS OF THE INSPECTIONS WILL BE PREPARED AND MAINTAINED ON-SITE BY THE CONTRACTOR.

SILT SHALL BE REMOVED FROM BEHIND BARRIERS IF GREATER THAN 6-INCHES DEEP OR AS NEEDED. DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.

SEDIMENT THAT IS COLLECTED IN STRUCTURES SHALL BE DISPOSED OF PROPERLY AND COVERED IF STORED ON-SITE.

EROSION CONTROL STRUCTURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN SECURELY STABILIZED. AFTER REMOVAL OF STRUCTURES, DISTURBED AREAS SHALL BE REGRADED AND STABILIZED AS SOON AS PRACTICAL.

MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENTS ONTO PAVED SURFACES.

ALL ERS CONTROL MEASURES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL OF 0.25 INCHES IN 24 HOURS.

Site S&E Narrative:

THE PROJECT CURRENTLY PROPOSES TO CONSTRUCT TWO BUILDINGS CONTAINING A 62 UNIT MULTI-FAMILY RESIDENTIAL BUILDING WITH GARAGES AND A MAINTENANCE SHED AND AN OFFICE BUILDING. THE APARTMENT UNIT IS THREE STORIES WITH A FOOTPRINT OF 29,869 S.F. THE OFFICE IS A TWO-STORY +/- 30,000 SF BUILDING WITH 15,000 S.F. PER FLOOR. APPROXIMATELY 37 NEW STANDARD PARKING STALLS AND 5 NEW ADA-COMPLIANT PARKING STALLS WILL BE CONSTRUCTED FOR A TOTAL OF 42 NEW PARKING STALLS.

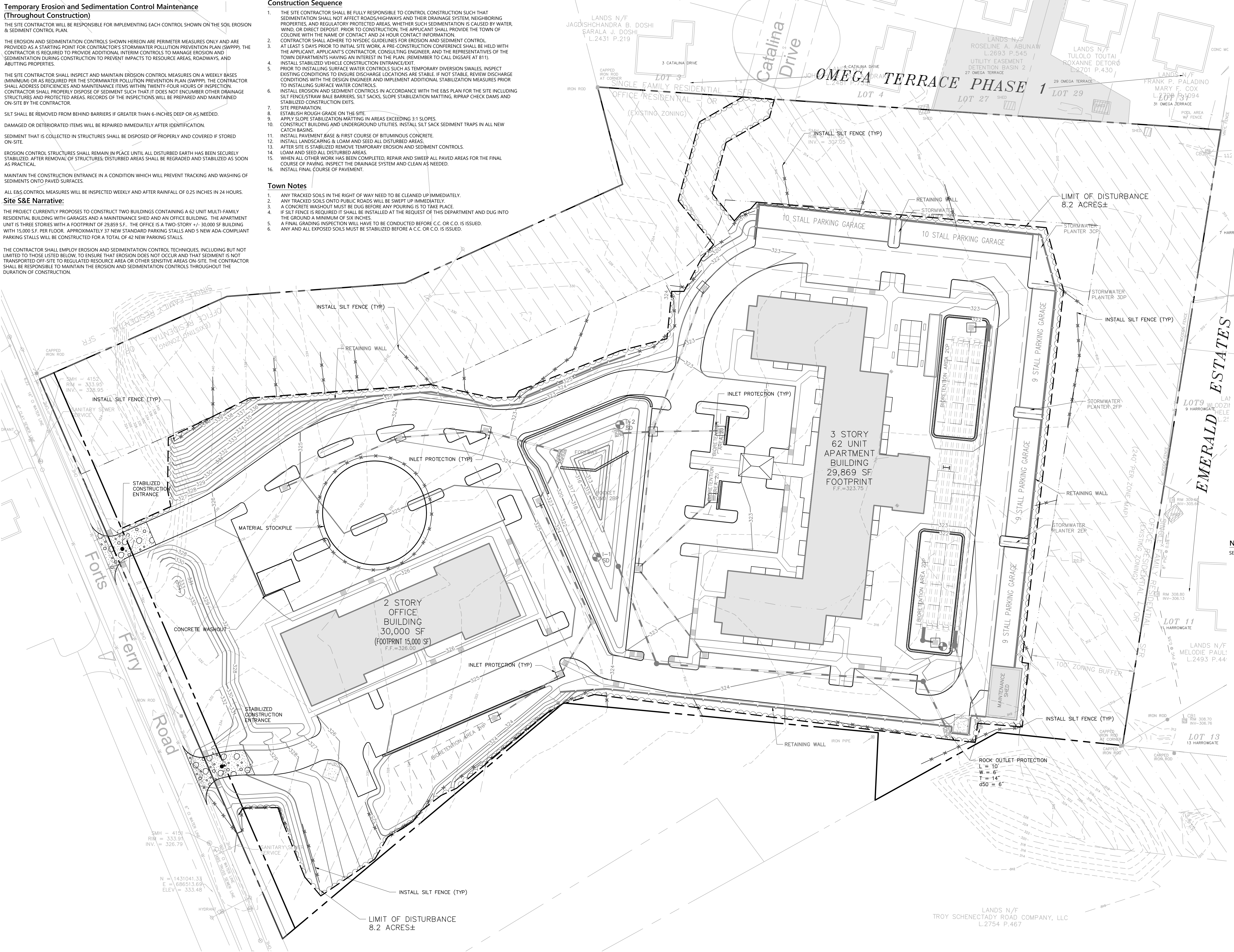
THE CONTRACTOR SHALL EMPLOY EROSION AND SEDIMENTATION CONTROL TECHNIQUES, INCLUDING BUT NOT LIMITED TO THOSE LISTED BELOW, TO ENSURE THAT EROSION DOES NOT OCCUR AND THAT SEDIMENT IS NOT TRANSPORTED OFF-SITE TO REGULATED RESOURCE AREA OR OTHER SENSITIVE AREAS ON-SITE. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE EROSION AND SEDIMENTATION CONTROLS THROUGHOUT THE DURATION OF CONSTRUCTION.

Construction Sequence

1. THE SITE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT ROADS/HIGHWAYS AND THEIR DRAINAGE SYSTEM, NEIGHBORING PROPERTIES, AND REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT. PRIOR TO CONSTRUCTION, THE APPLICANT SHALL PROVIDE THE TOWN OF COLONIE WITH THE NAME OF CONTACT AND 24 HOUR CONTACT INFORMATION.
2. CONTRACTOR SHALL ADHERE TO NYSDEC GUIDELINES FOR EROSION AND SEDIMENT CONTROL. AT LEAST 5 DAYS PRIOR TO INITIAL SITE WORK, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE APPLICANT, APPLICANT'S CONTRACTOR, CONSULTING ENGINEER, AND THE REPRESENTATIVES OF THE TOWN DEPARTMENTS HAVING AN INTEREST IN THE PLAN. (REMEMBER TO CALL DIGSAFE AT 811).
3. INSTALL STABILIZED VEHICLE CONSTRUCTION ENTRANCE/EXIT.
4. PRIOR TO INSTALLING SURFACE WATER CONTROLS SUCH AS TEMPORARY DIVERSION SWALES, INSPECT EXISTING CONDITIONS TO ENSURE DISCHARGE LOCATIONS ARE STABLE. IF NOT STABLE, REVIEW DISCHARGE CONDITIONS WITH THE DESIGN ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING SURFACE WATER CONTROLS.
5. INSTALL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE ERS PLAN FOR THE SITE INCLUDING SILT FENCE/STRAW BALE BARRIERS, SILT SACKS, SLOPE STABILIZATION MATTING, RIPRAP CHECK DAMS AND STABILIZED CONSTRUCTION EXITS.
6. SITE PREPARATION.
7. ESTABLISH ROUGH GRADE ON THE SITE.
8. APPLY SLOPE STABILIZATION MATTING IN AREAS EXCEEDING 3:1 SLOPES.
9. CONSTRUCT BUILDING AND UNDERGROUND UTILITIES. INSTALL SILT SACK SEDIMENT TRAPS IN ALL NEW CATCH BASINS.
10. INSTALL PAVEMENT BASE & FIRST COURSE OF BITUMINOUS CONCRETE.
11. INSTALL LANDSCAPING & LOAM AND SEED ALL DISTURBED AREAS.
12. AFTER SITE IS STABILIZED REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS.
13. LOAM AND SEED ALL DISTURBED AREAS.
14. WHEN ALL OTHER WORK HAS BEEN COMPLETED, REPAIR AND SWEEP ALL PAVED AREAS FOR THE FINAL COURSE OF PAVING. INSPECT THE DRAINAGE SYSTEM AND CLEAN AS NEEDED.
15. INSTALL FINAL COURSE OF PAVEMENT.

Town Notes

1. ANY TRACKED SOILS IN THE RIGHT OF WAY NEED TO BE CLEANED UP IMMEDIATELY.
2. ANY TRACKED SOILS ONTO PUBLIC ROADS WILL BE SWEEP UP IMMEDIATELY.
3. A CONCRETE WASHOUT MUST BE DUG BEFORE ANY POURING IS TO TAKE PLACE. IF SILT FENCE IS REQUIRED IT SHALL BE INSTALLED AT THE REQUEST OF THIS DEPARTMENT AND DUG INTO THE GROUND A MINIMUM OF SIX INCHES.
4. A FINAL GRADING INSPECTION WILL HAVE TO BE CONDUCTED BEFORE C.C. OR C.O. IS ISSUED.
5. ANY AND ALL EXPOSED SOILS MUST BE STABILIZED BEFORE A C.C. OR C.O. IS ISSUED.



Notes
SEE PHASING PLAN FOR PHASING AND SEDIMENT TRAP LOCATIONS.



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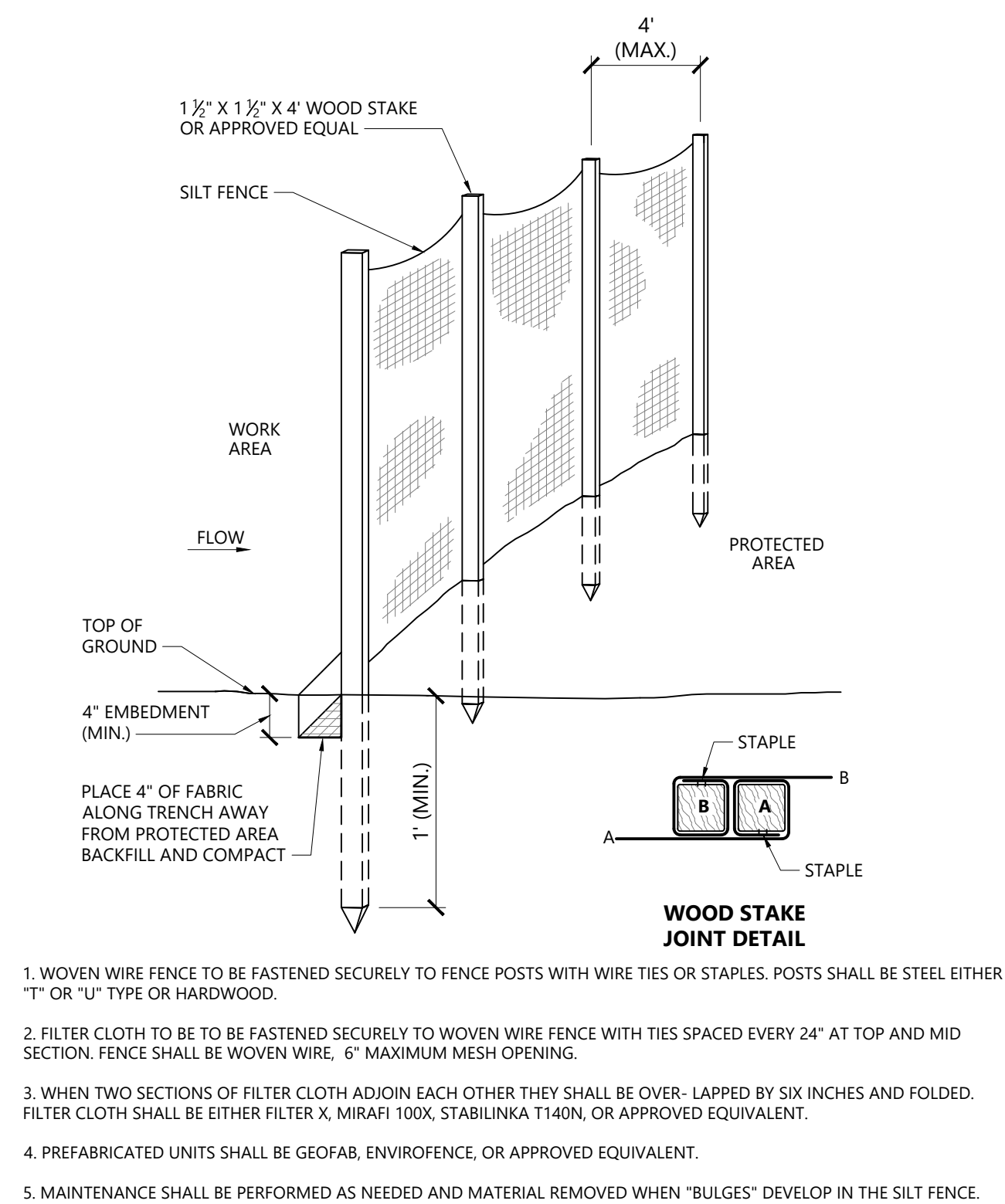
| No. | Revision | Date | App'd. |
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Not Approved for Construction
Drawing Title
Erosion and Sediment Control Plan

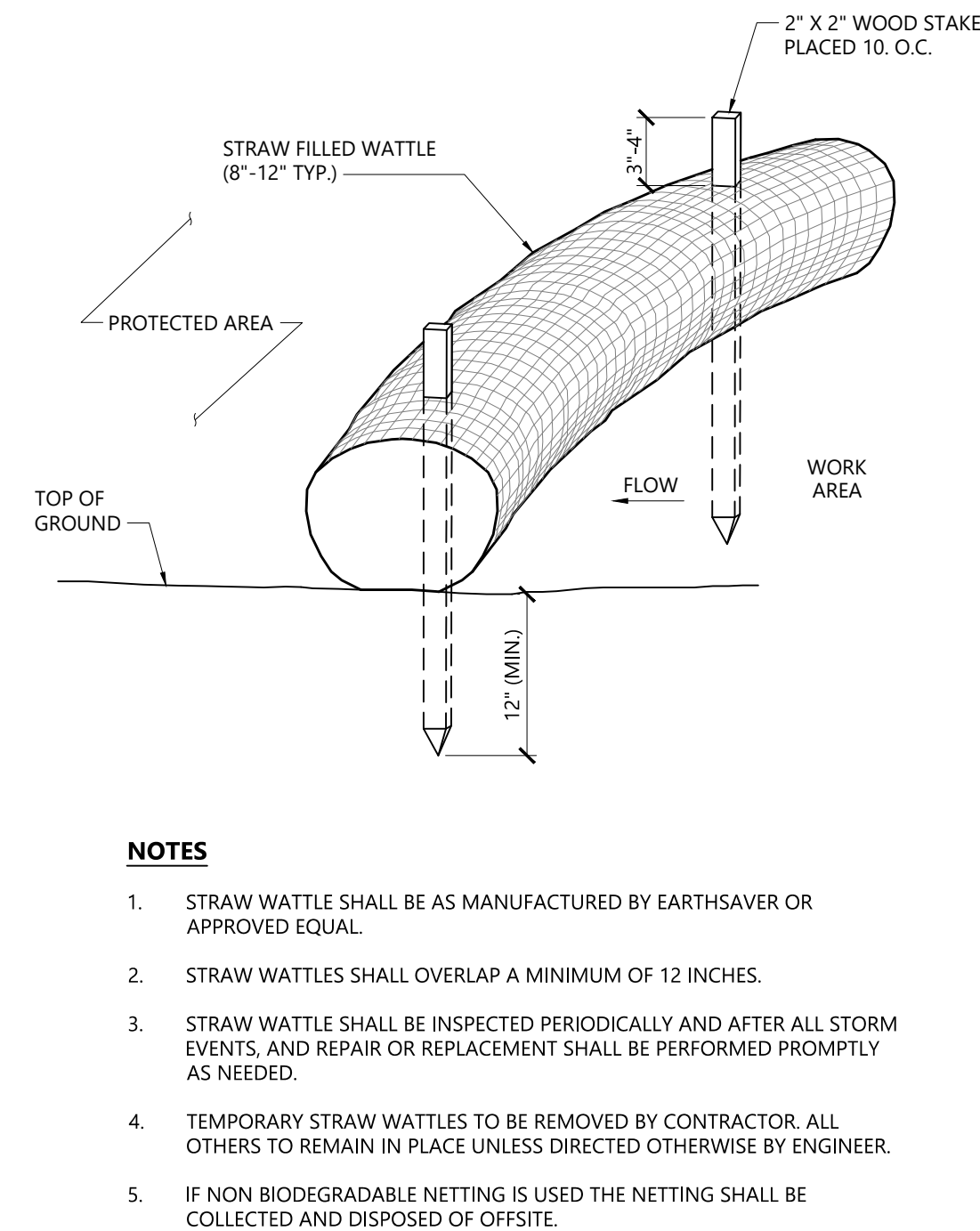


C-9

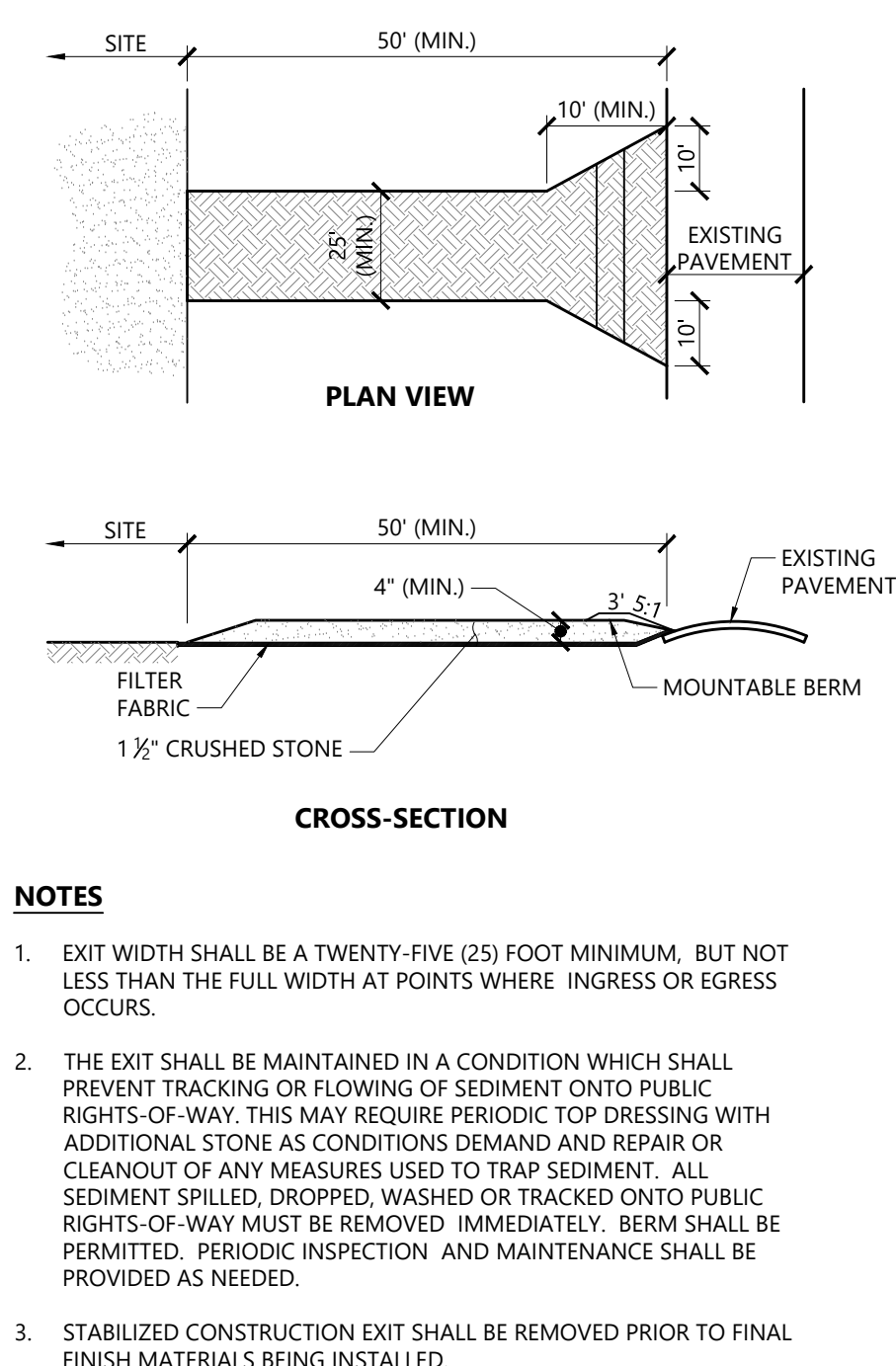
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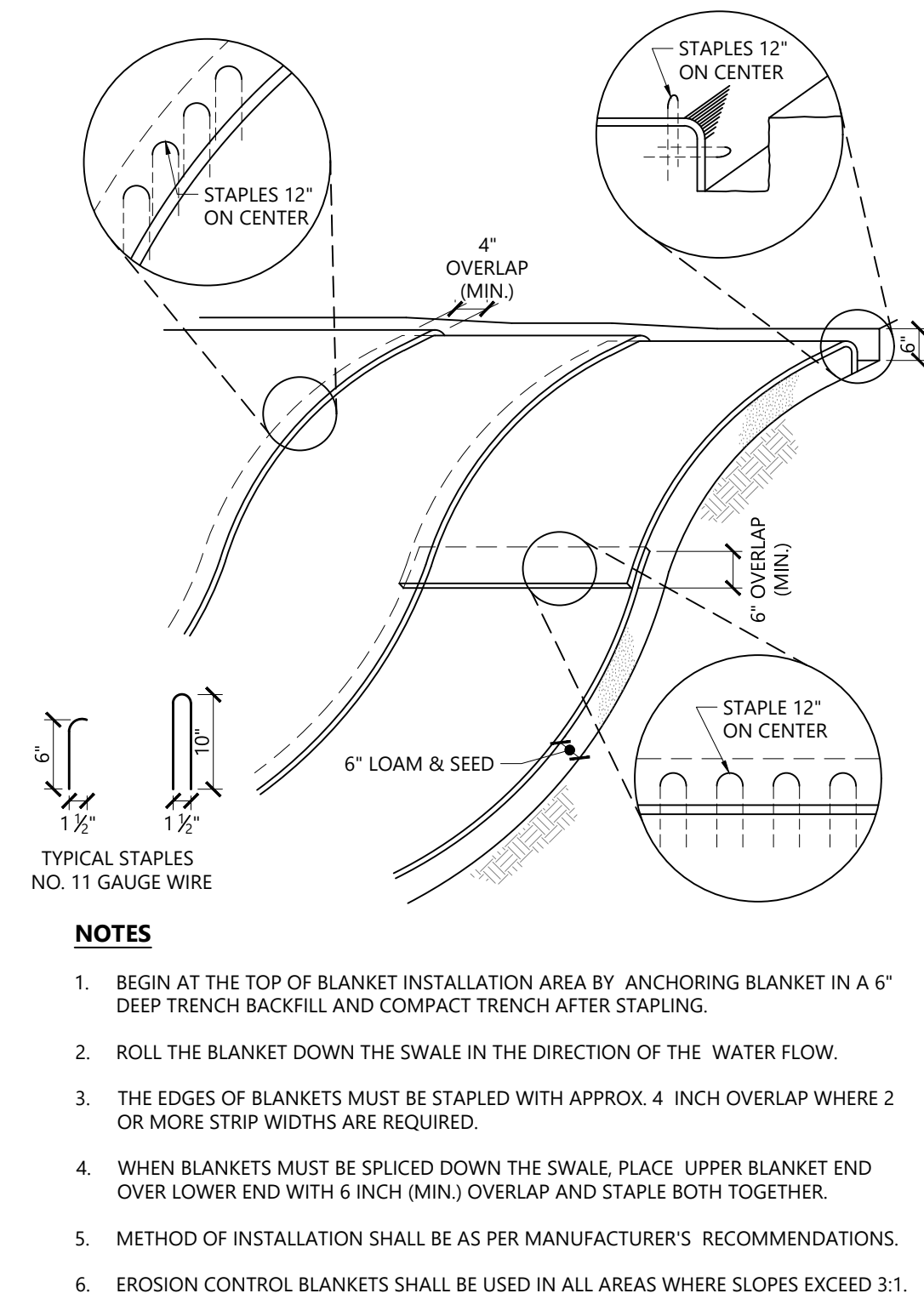
Silt Fence Barrier 1/16
N.T.S. Source: VHB REV LD_650



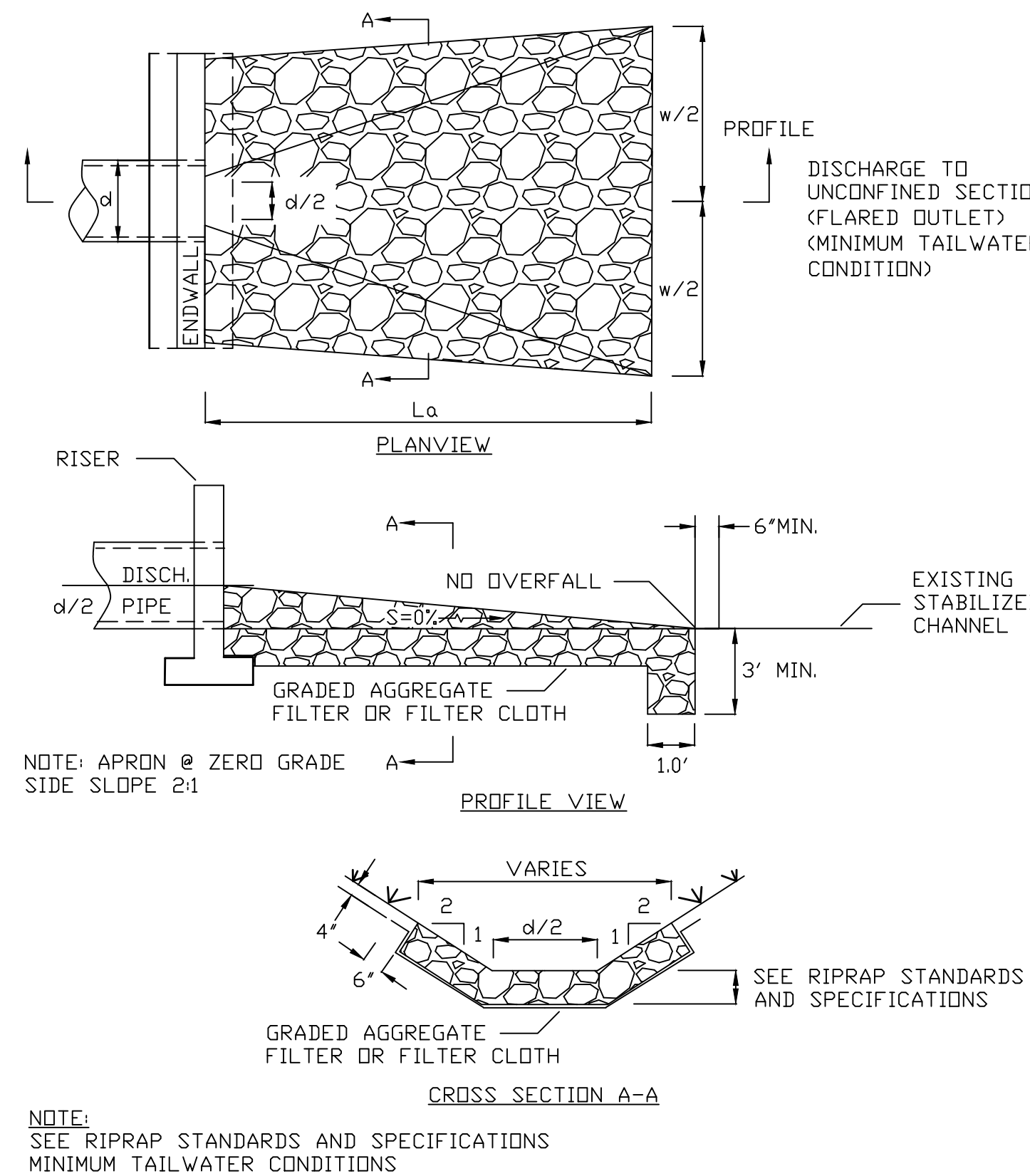
Straw Wattle - Erosion Control Barrier 9/16
N.T.S. Source: VHB LD_660



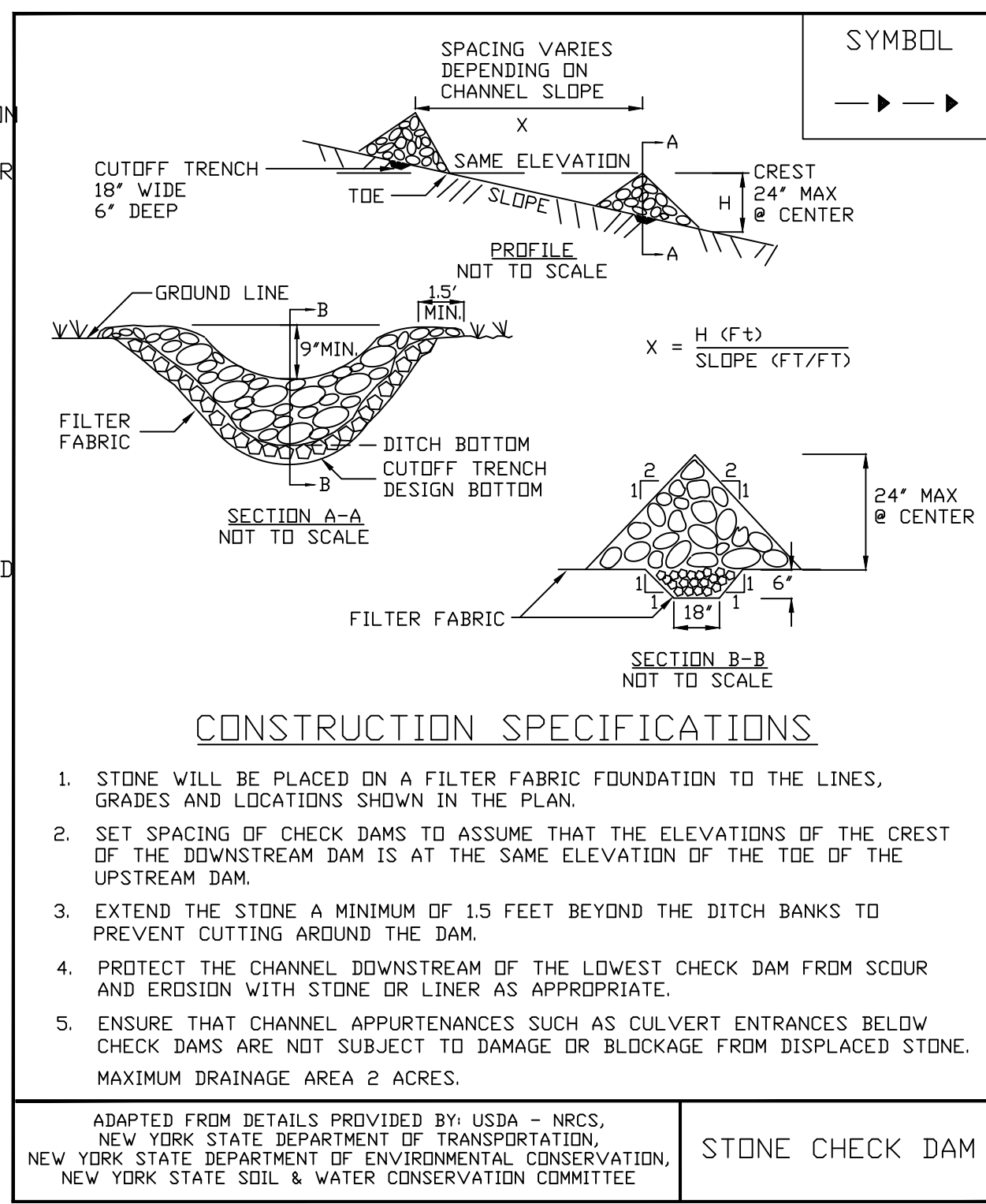
Stabilized Construction Exit 1/16
N.T.S. Source: VHB LD_682



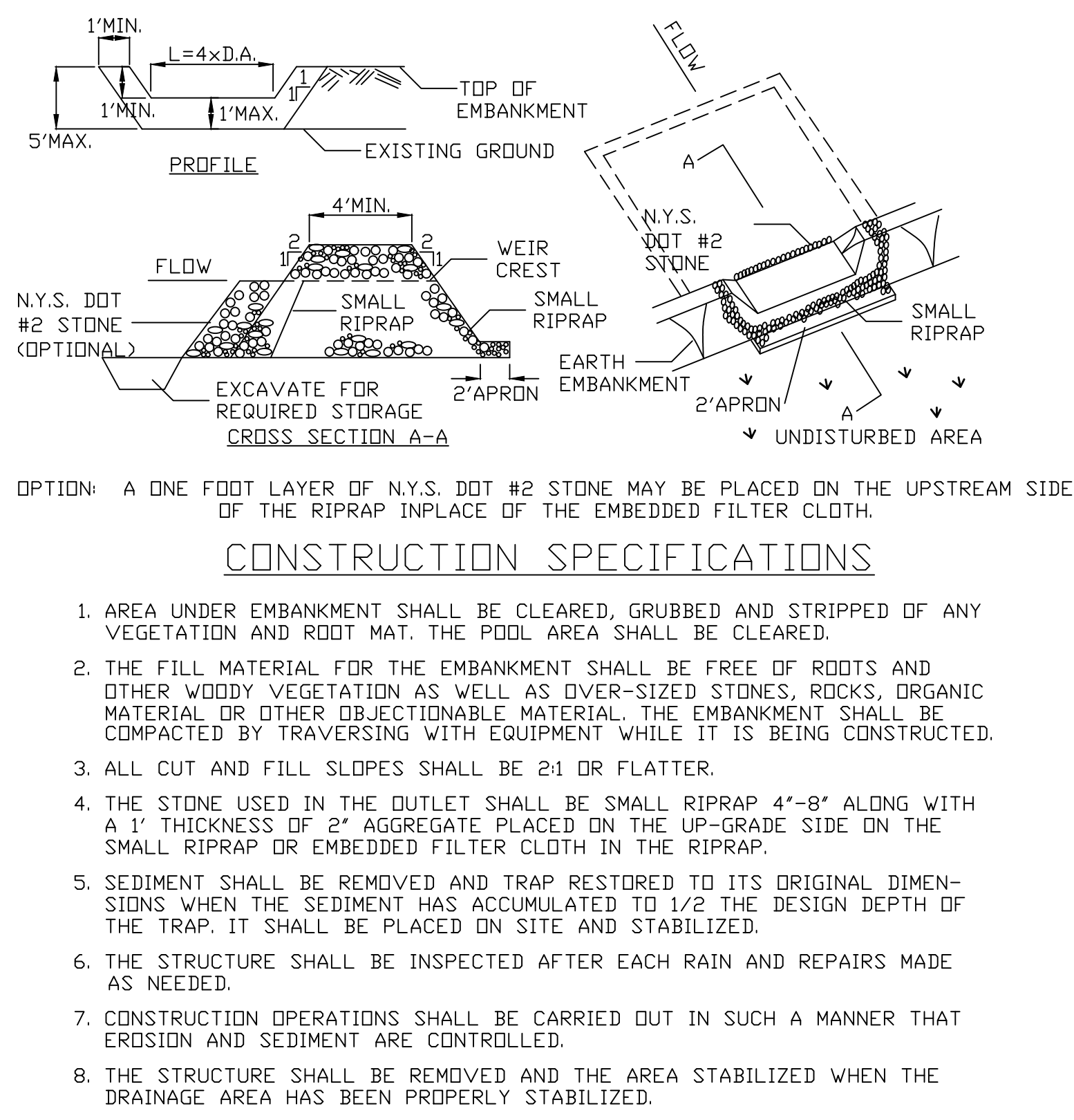
Erosion Control Blanket Slope Installation 1/16
N.T.S. Source: VHB LD_680



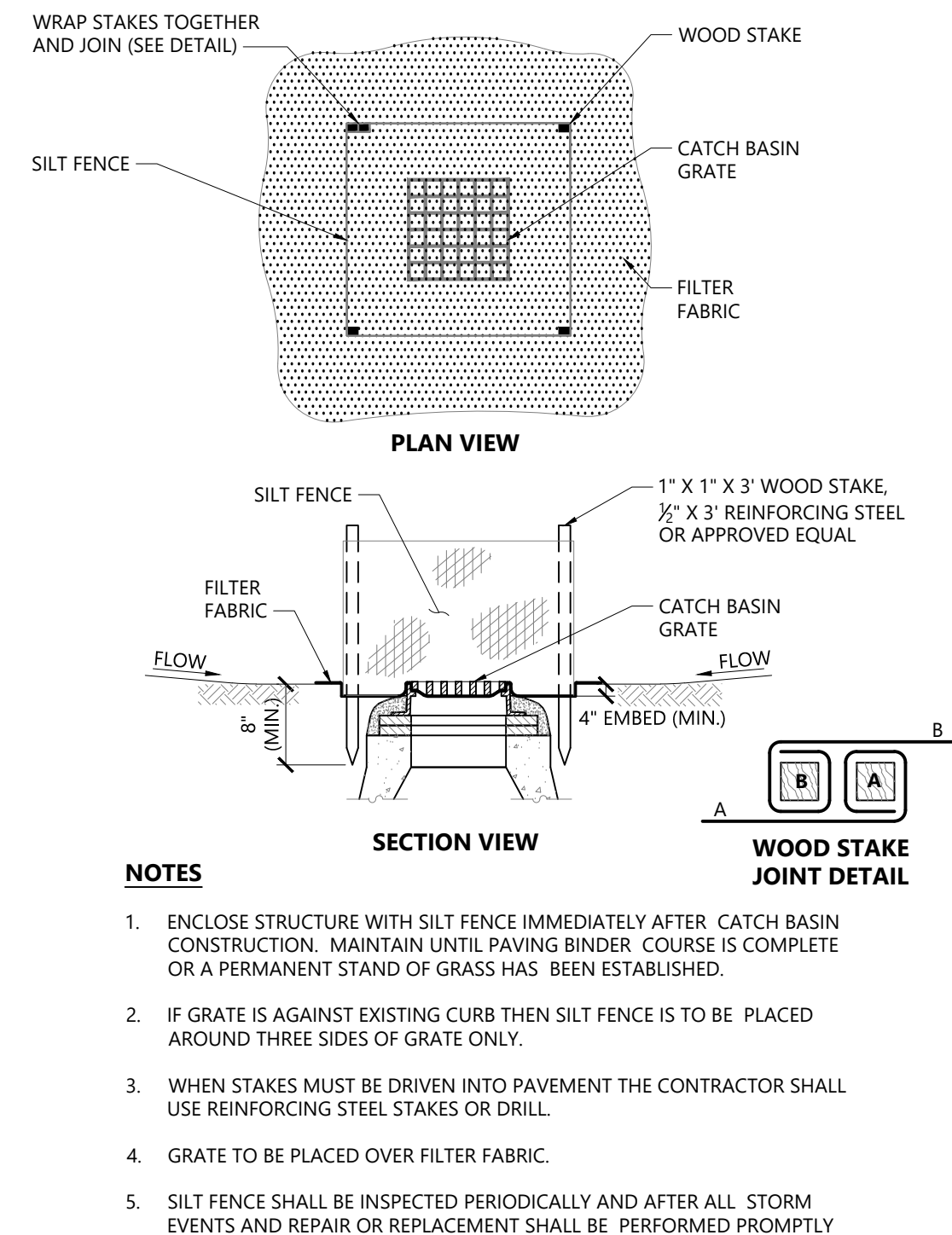
Rock Outlet Protection Detail 1/16
N.T.S.



Stone Check Dam 1/16
N.T.S.



Stone Outlet Sediment Trap Detail 1/16
N.T.S.



Silt Fence Sediment Trap 1/16
N.T.S. Source: VHB LD_675

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Erosion and Sediment Control Details

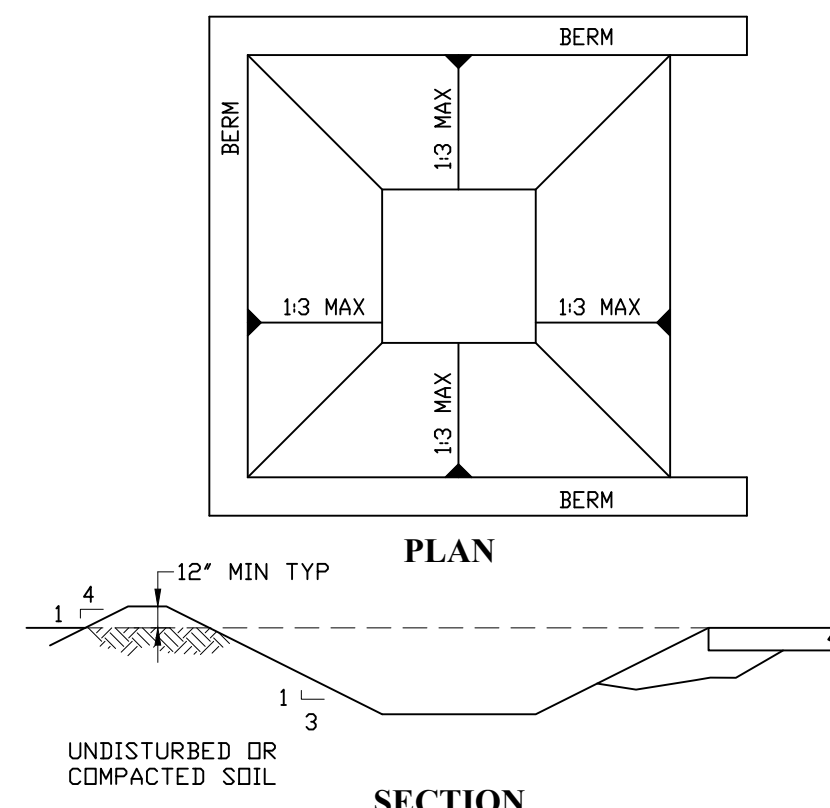
Drawing Number: C-10

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Project Number: 29466.00

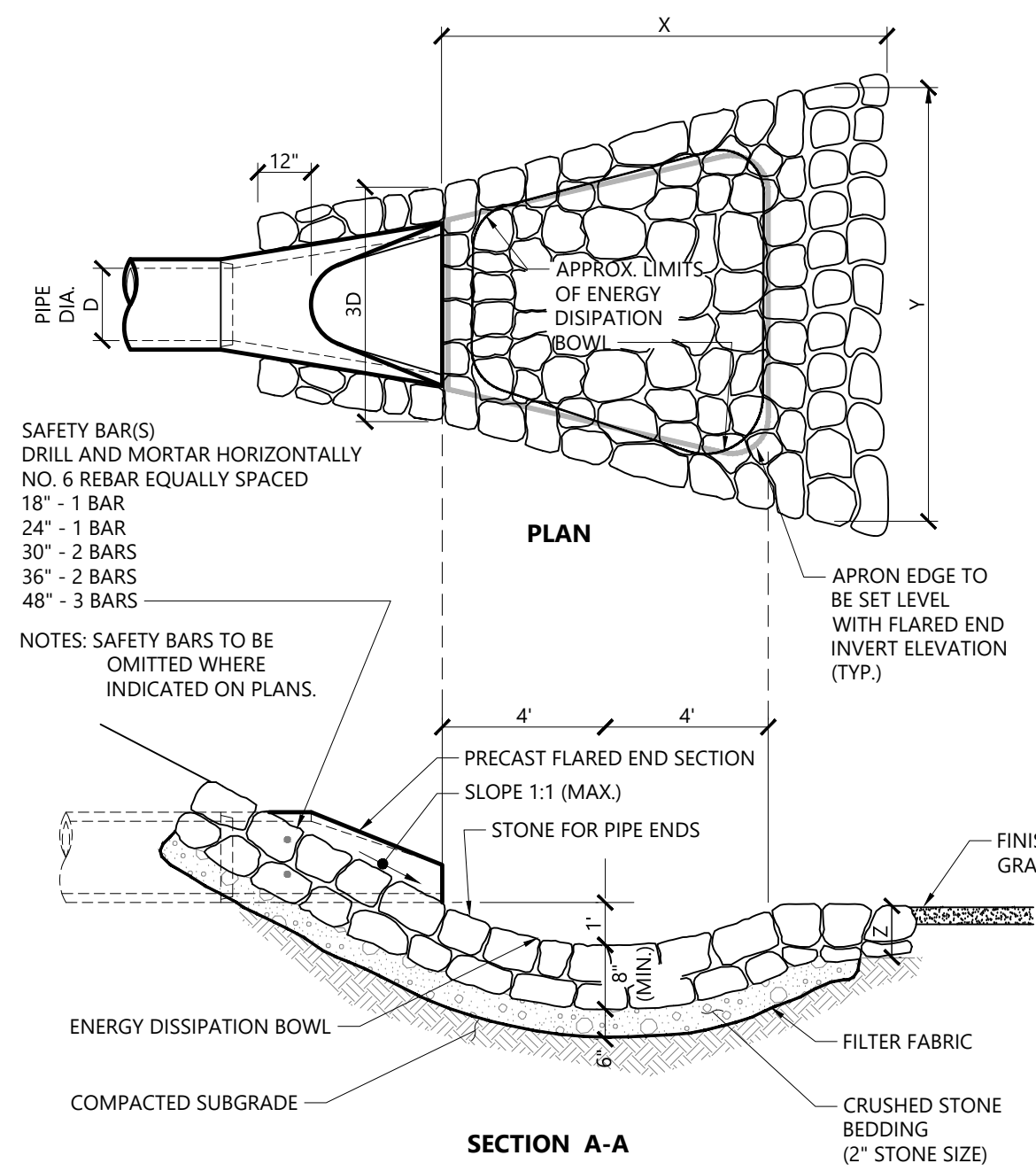


C-10

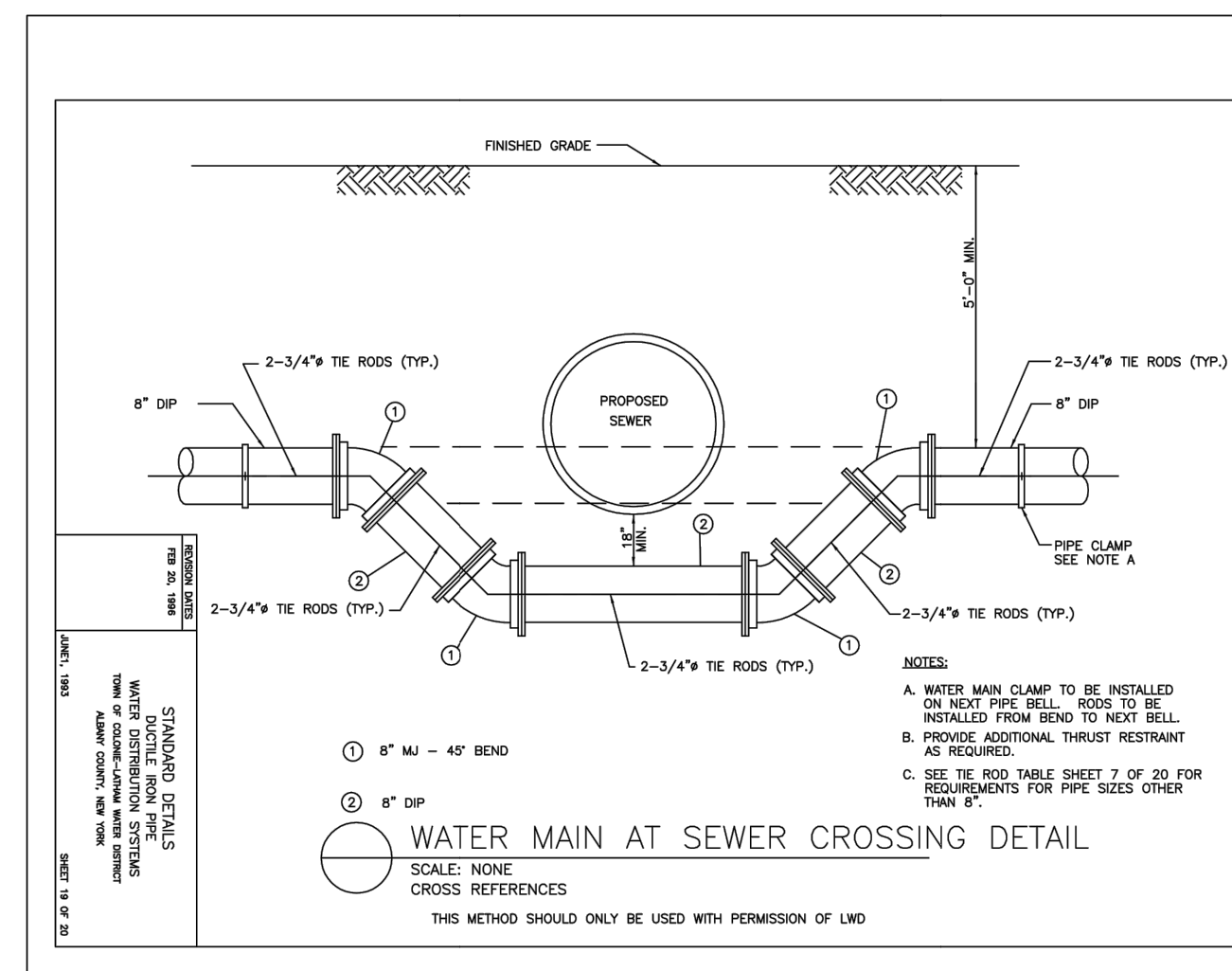


- CONCRETE WASHOUT AREA (CWA) MUST BE LINED WITH AN IMPERMEABLE LINER (16 MIL THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE AREA SHALL BE USED.
- INSTALL CONCRETE WASHOUT PRIOR TO ANY CONCRETE PLACEMENT ON THE SITE.
- INCLUDE A FLAT SURFACE OF 8'x8' MINIMUM WITH SIDE SLOPES NO STEEPER THAN 1:3. THE PIT SHALL BE AT LEAST 3' DEEP.
- CONSIDER VEHICULAR TRACKING PAD IN AREAS WITH CLAY/FINE SOILS WHICH EASILY PRODUCE MUD.
- INSPECT CWA DAILY AND MAINTAIN IN AN EFFECTIVE AND OPERATING CONDITION.
- INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED.
- WHERE CWA HAS FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF FAILURE.
- CWA SHALL BE REPAIRED, CLEANED OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN PIT SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND OTHER DEBRIS IN THE PIT SHALL BE TRANSPORTED FROM THE SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FROM THE PROJECT HAS BEEN PLACED.
- WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOPSOIL, SEED AND MULCH OR OTHERWISE STABILIZED MANNER APPROVED BY INSPECTOR.

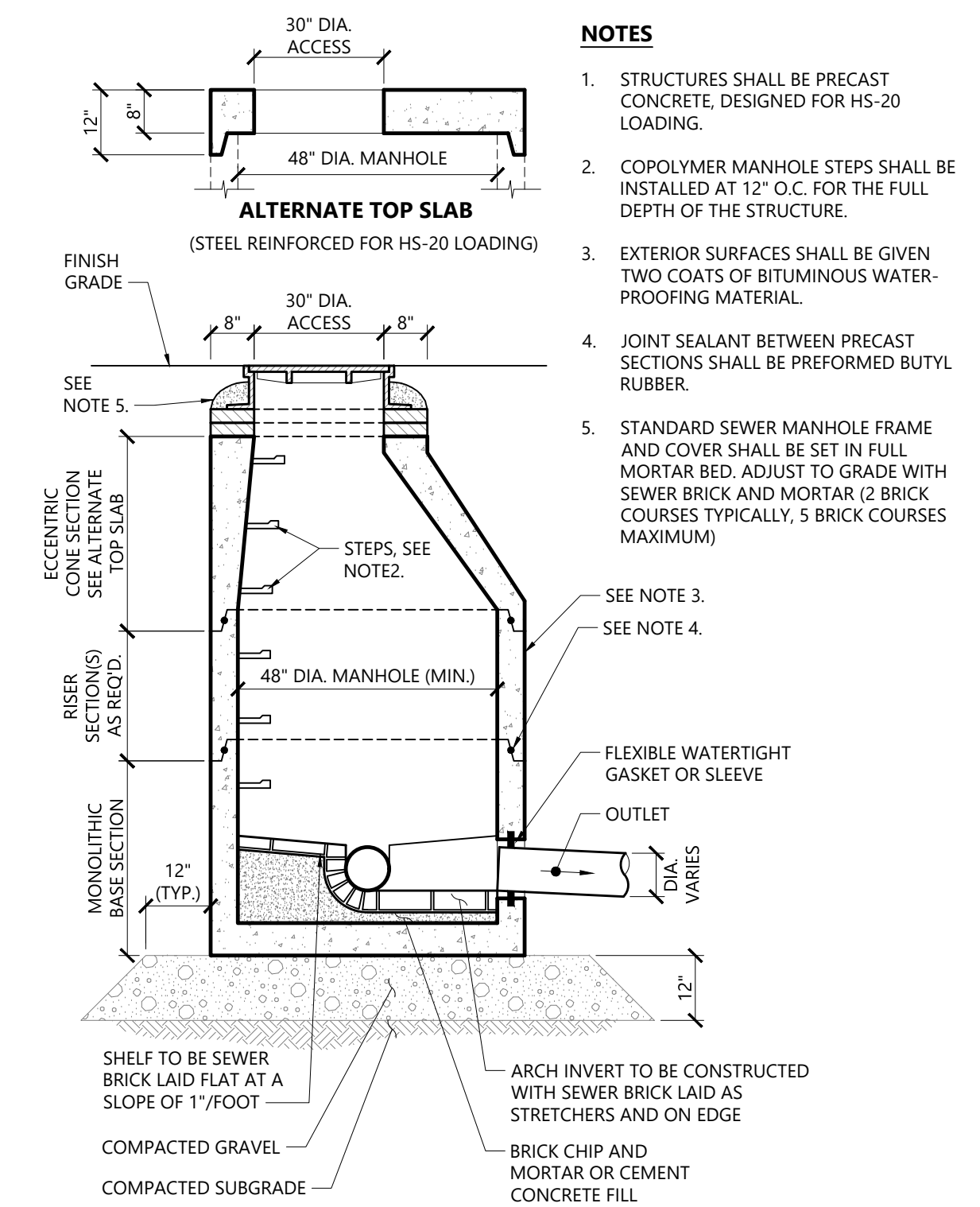
Concrete Washout Area (CWA) 4/16
N.T.S. Source: VHB



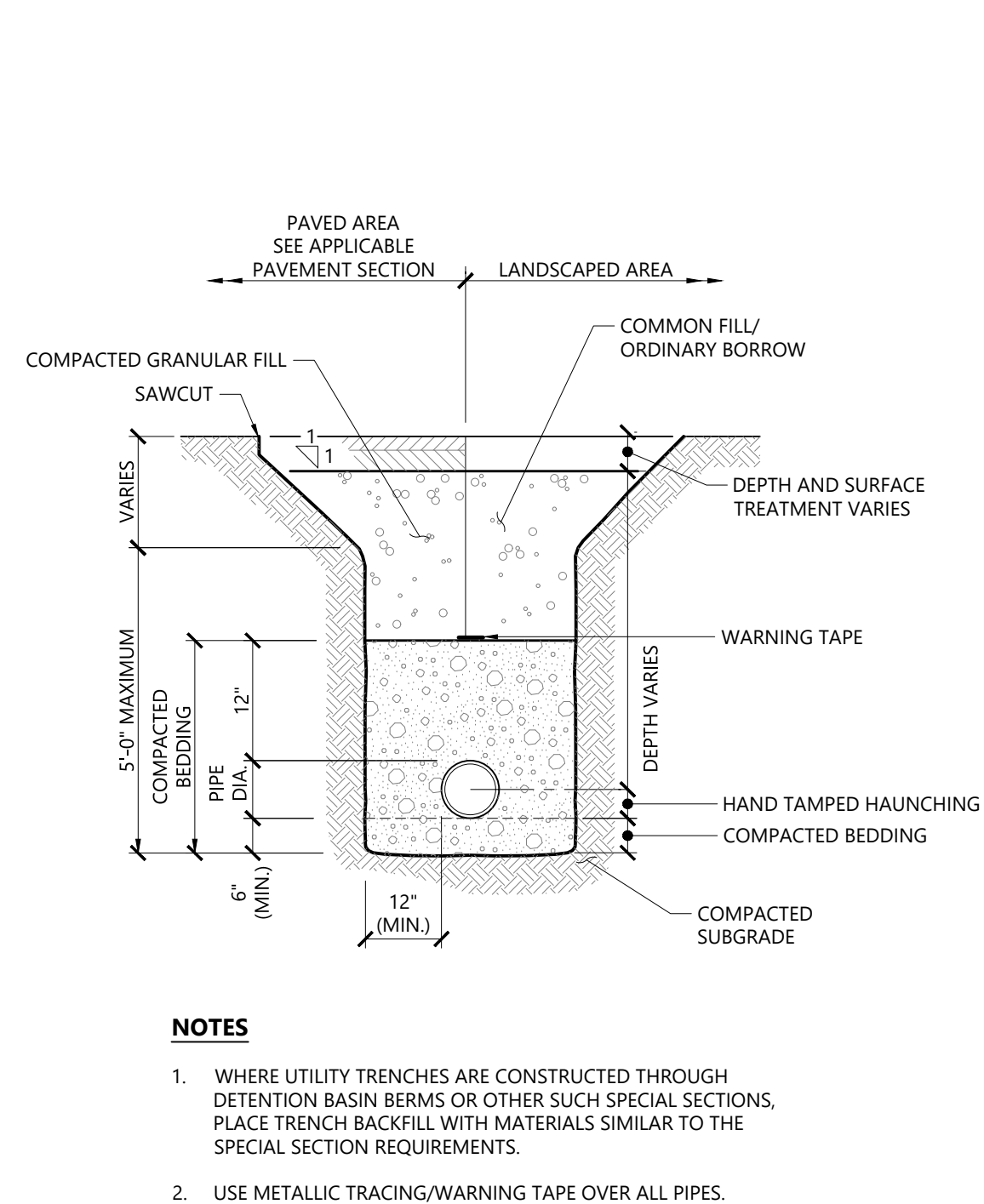
Flared End Section (FES) with Stone Protection 1/16
N.T.S. Source: VHB LD_134



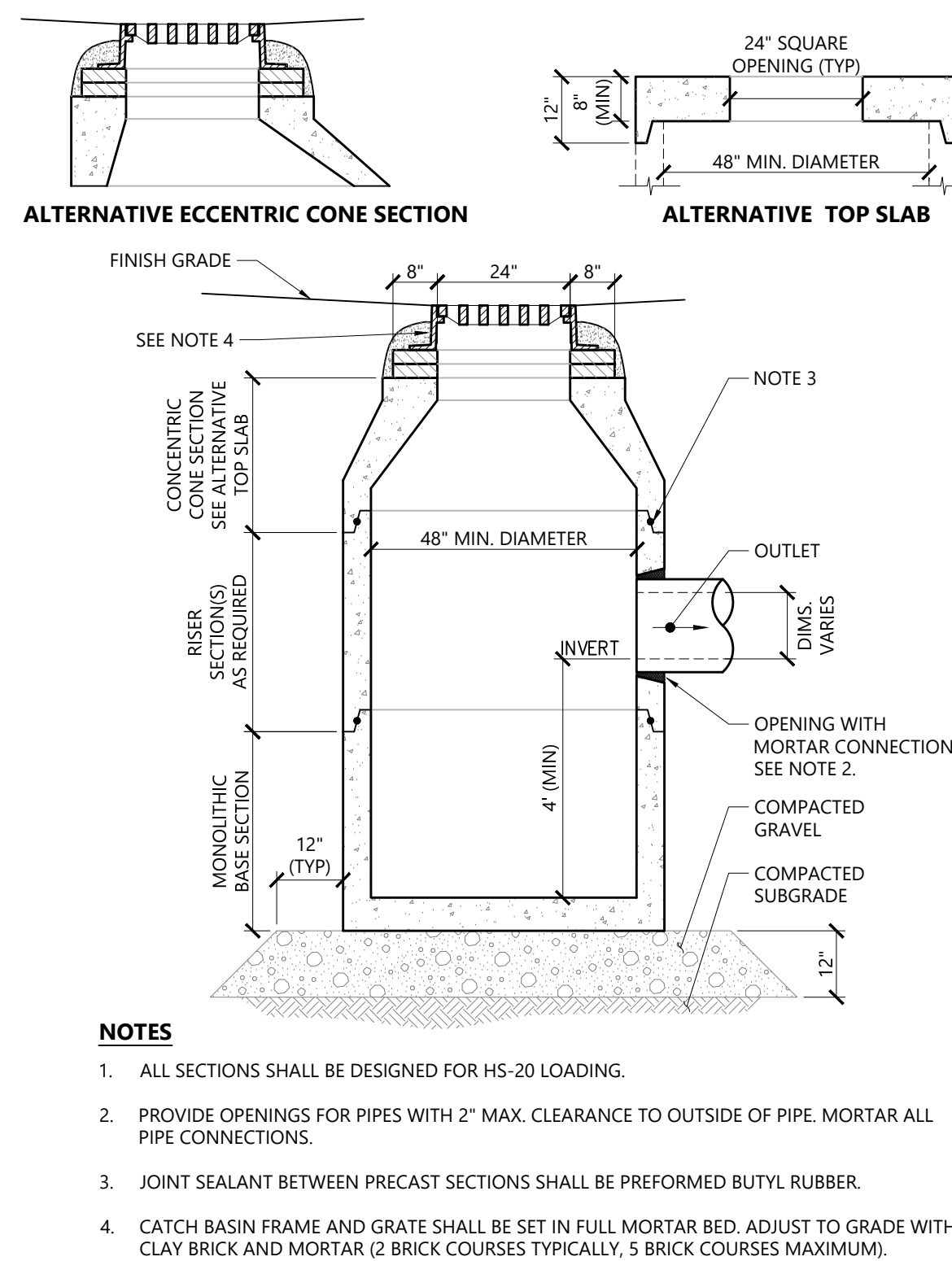
Water Main at Sewer Crossing Detail 1/16
N.T.S. Source: Town of Colonie



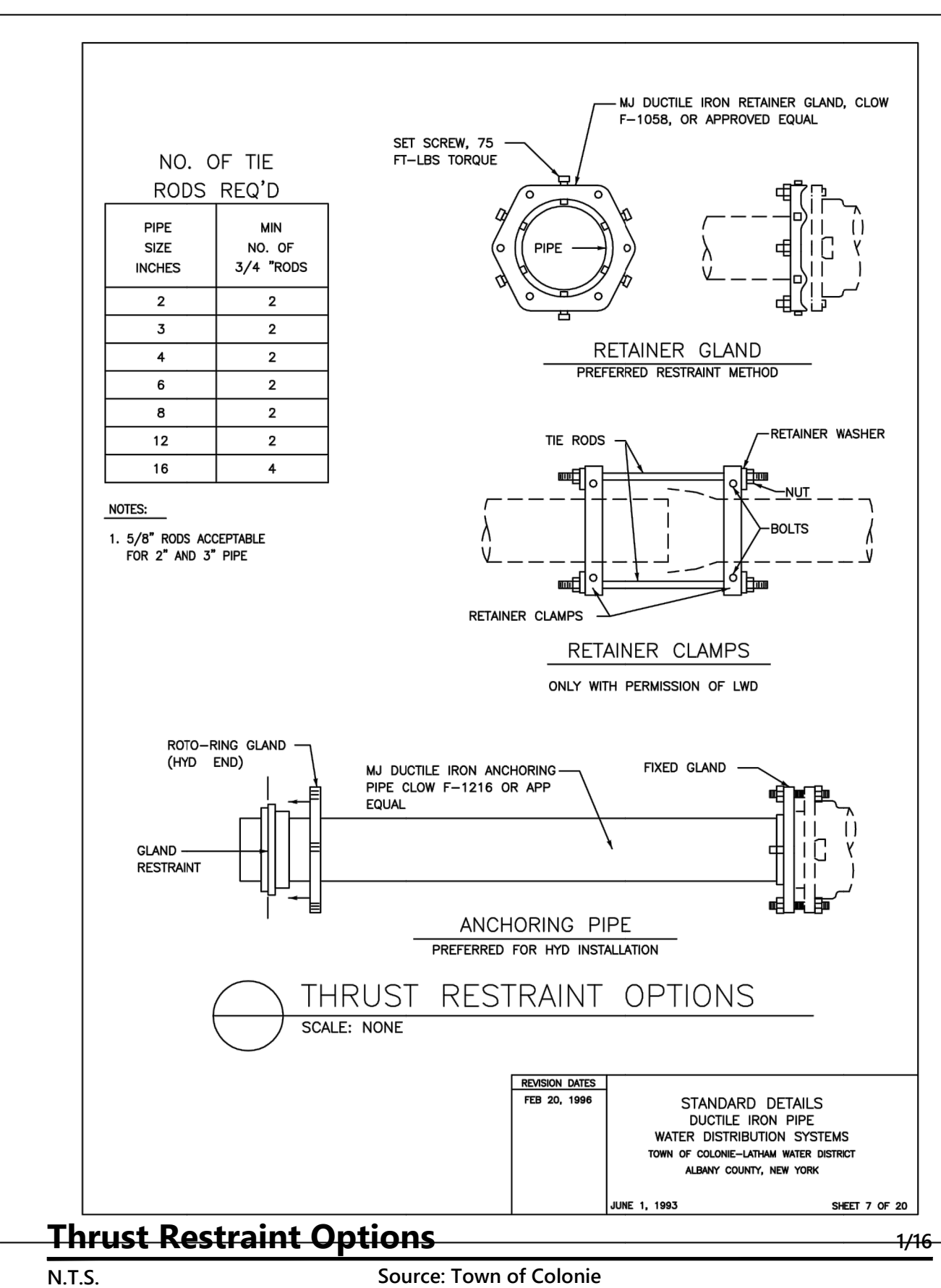
Sanitary Sewer Manhole (SMH) 1/16
N.T.S. Source: VHB LD_200



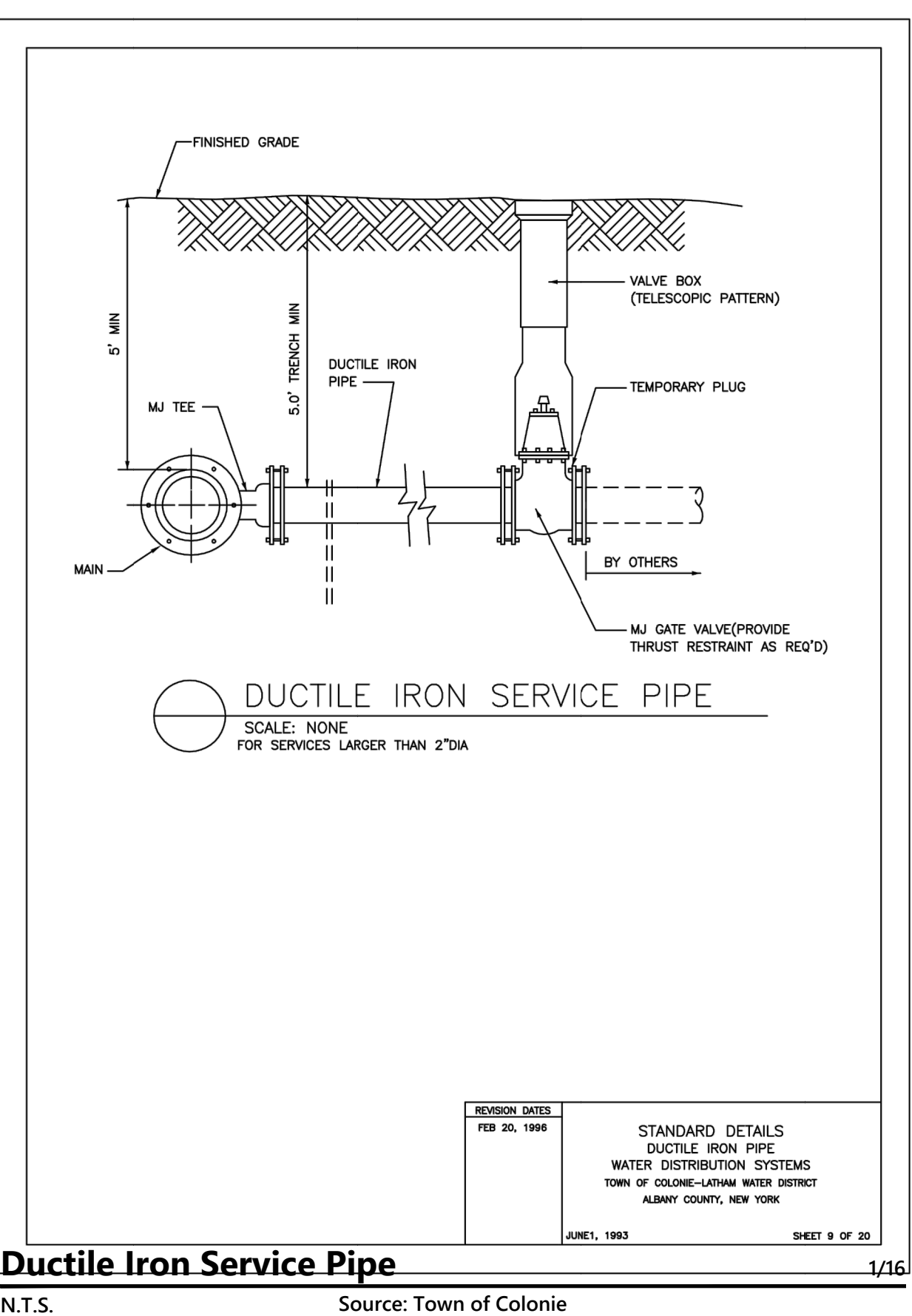
Utility Trench 1/16
N.T.S. Source: VHB LD_300



Catch Basin (CB) 1/16
N.T.S. Source: VHB LD_100



Thrust Restraint Options 1/16
N.T.S. Source: Town of Colonie



Ductile Iron Service Pipe 1/16
N.T.S. Source: Town of Colonie

The Summit at Forts Ferry
33 & 45 Forts Ferry Road
Colonie, New York

| No. | Revision | Date | App'd. |
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| 1 | TOWN REVIEW COMMENTS | 9/21/2018 | PM |
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| | Issued for | Site Plan Review | Date |
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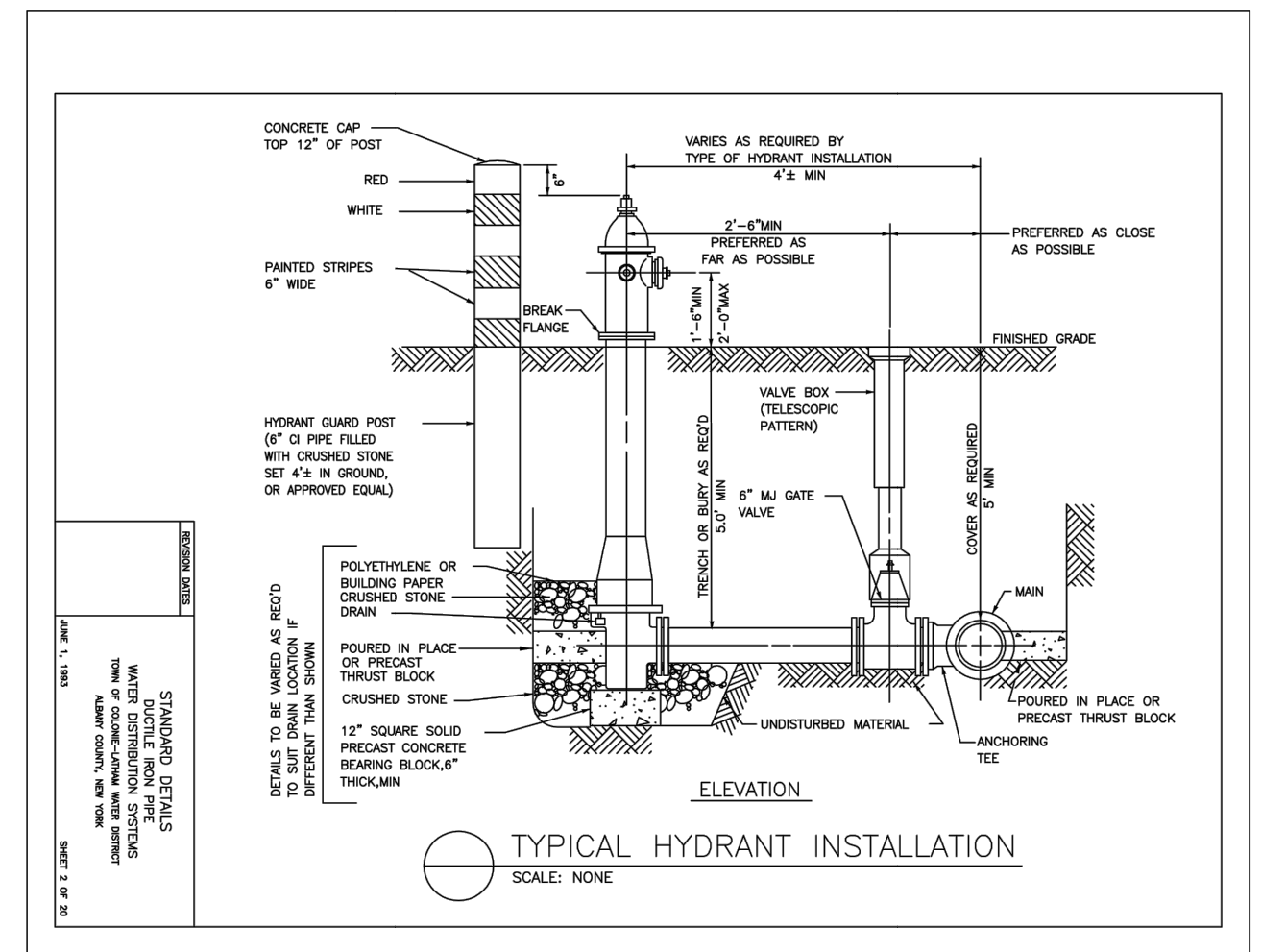
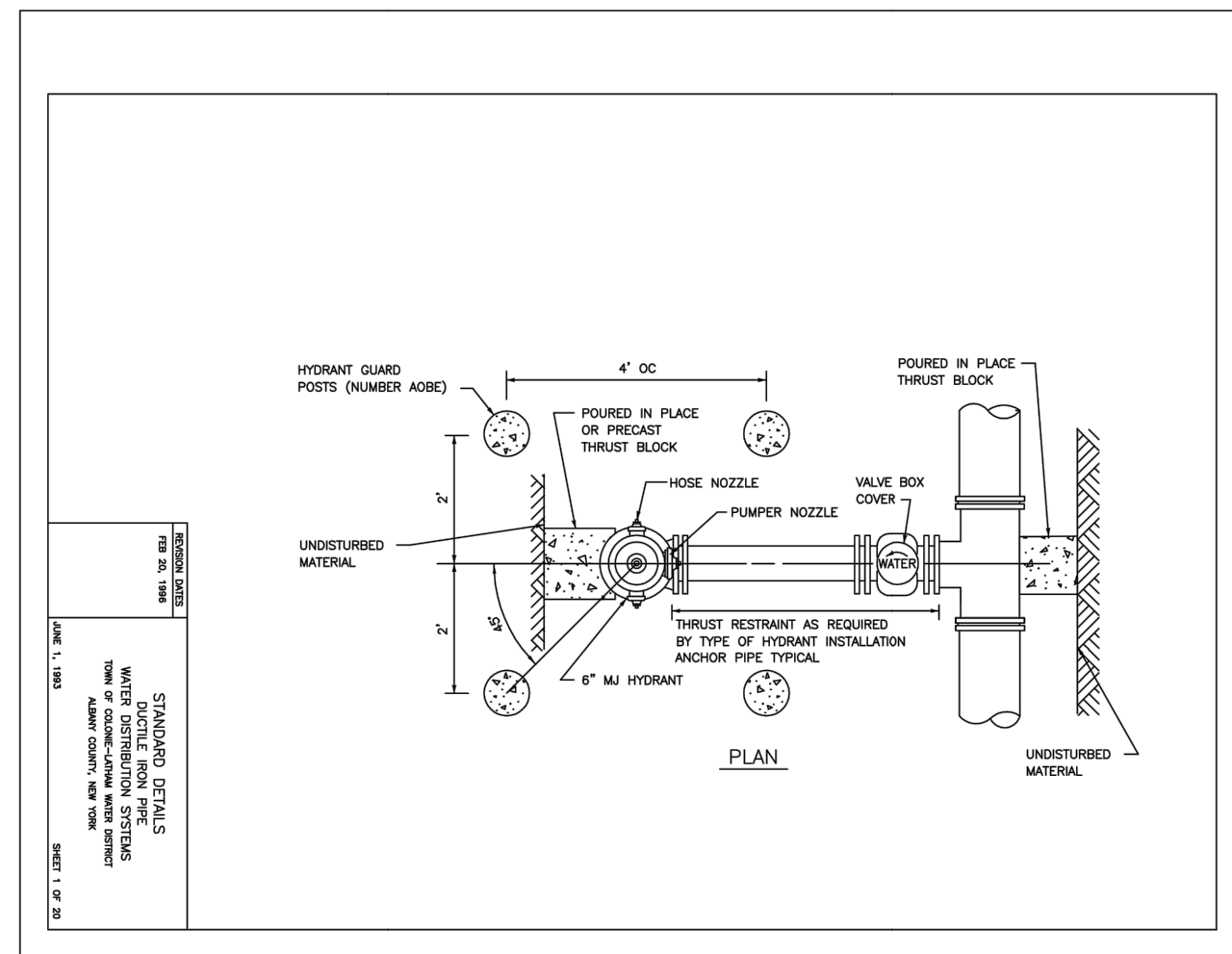
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Site Details 1



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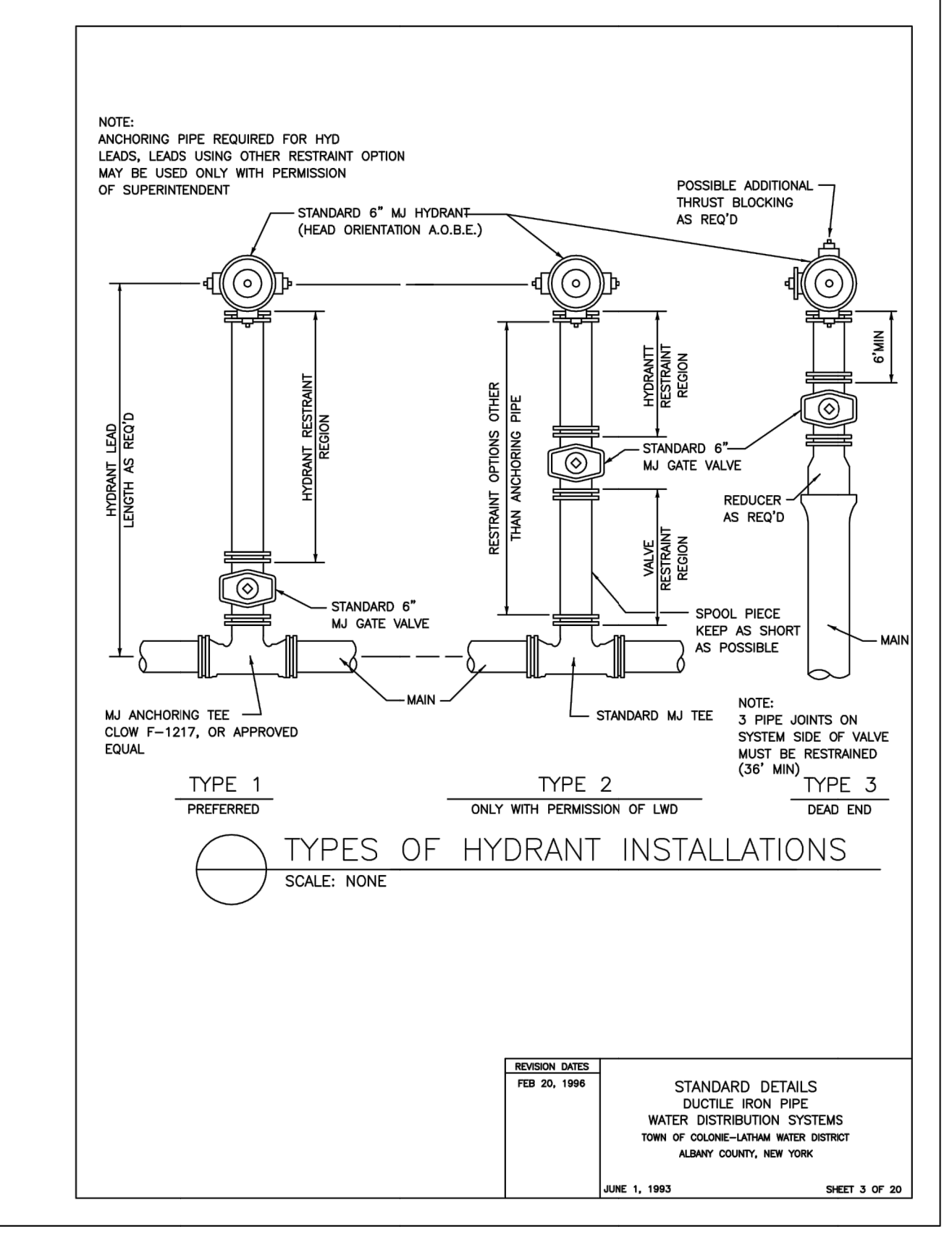


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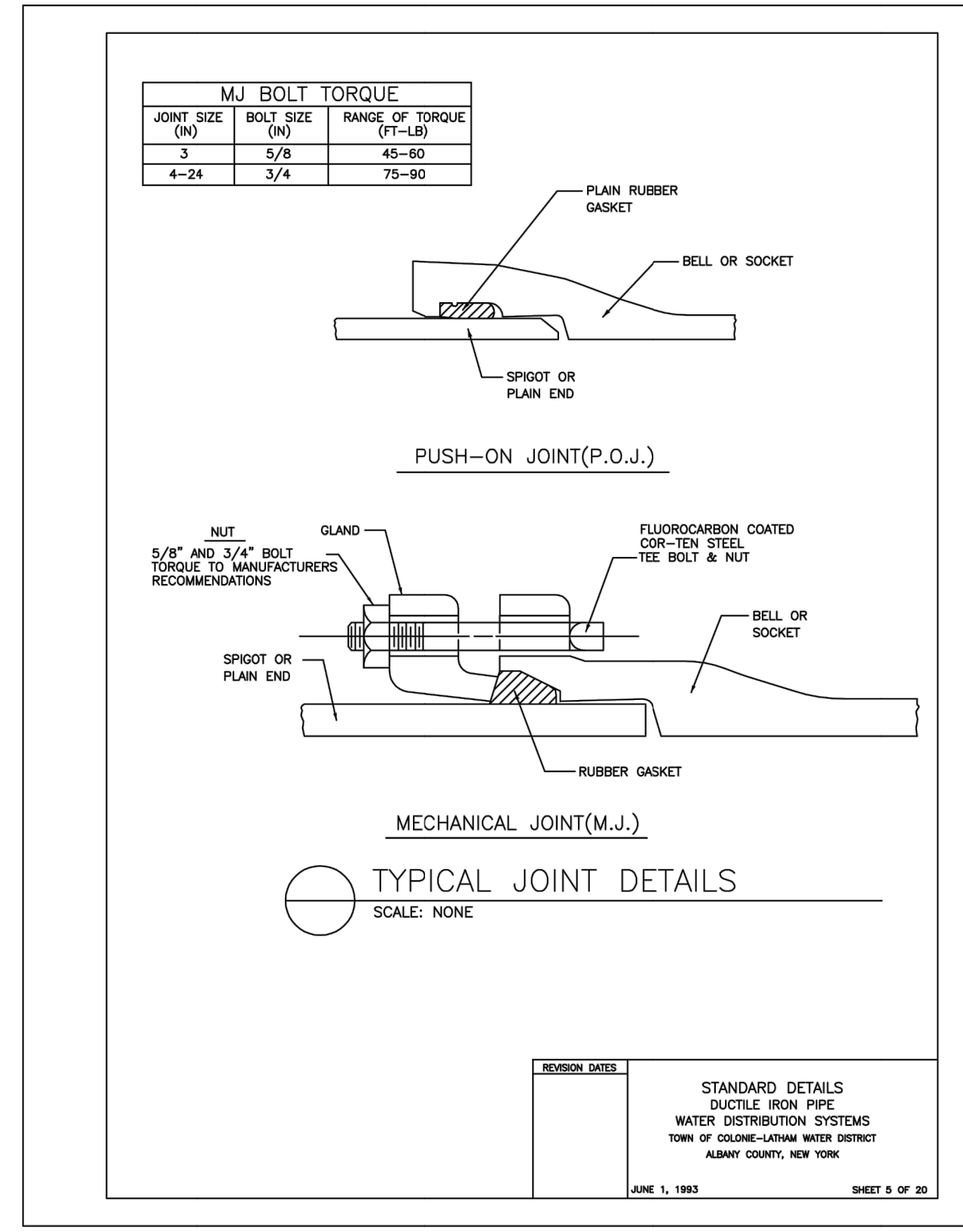


Ductile Iron Service Pipe 1/16
N.T.S. Source: Town of Colonie

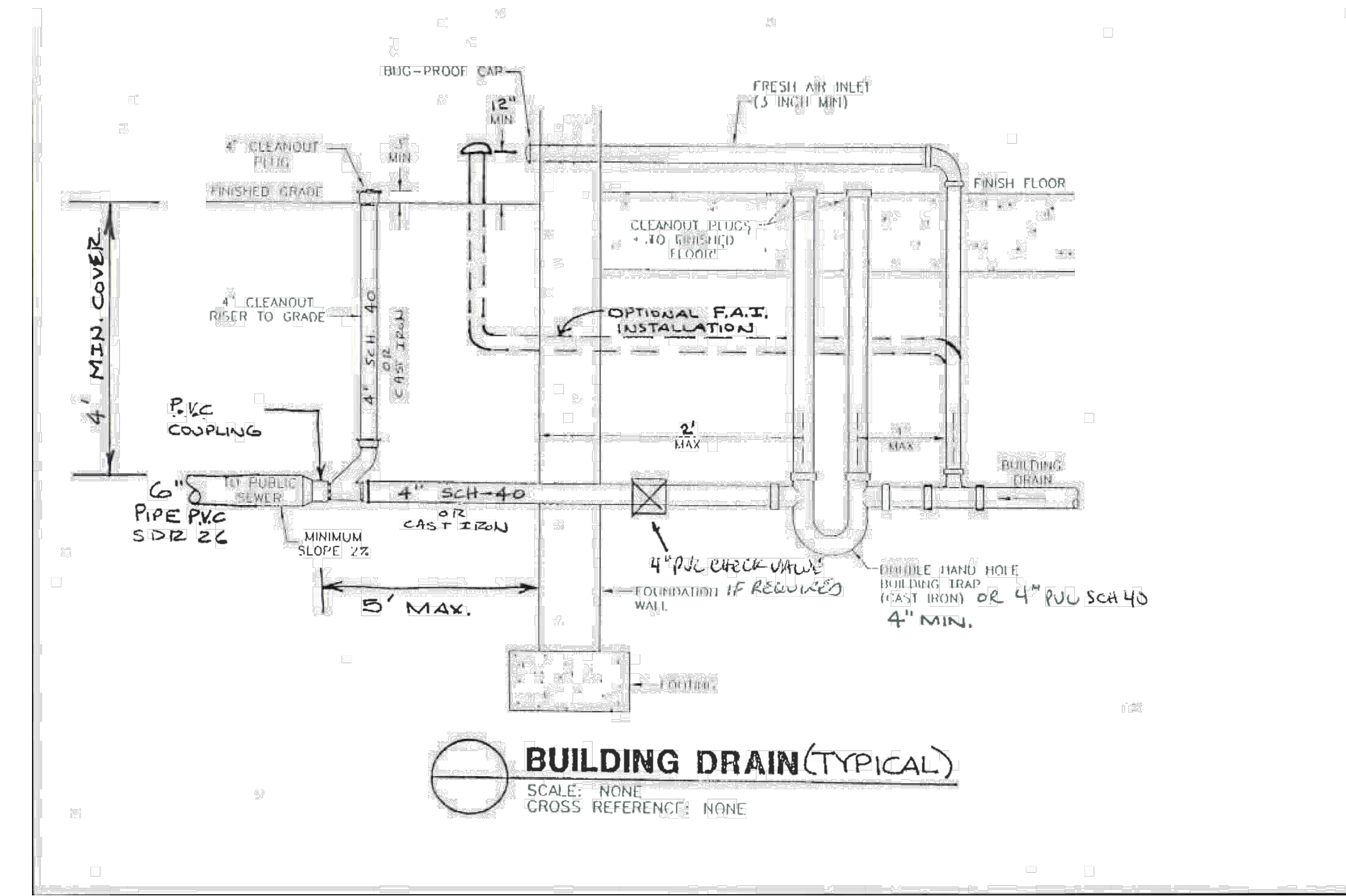
Typical Hydrant Installation 1/16
N.T.S. Source: Town of Colonie



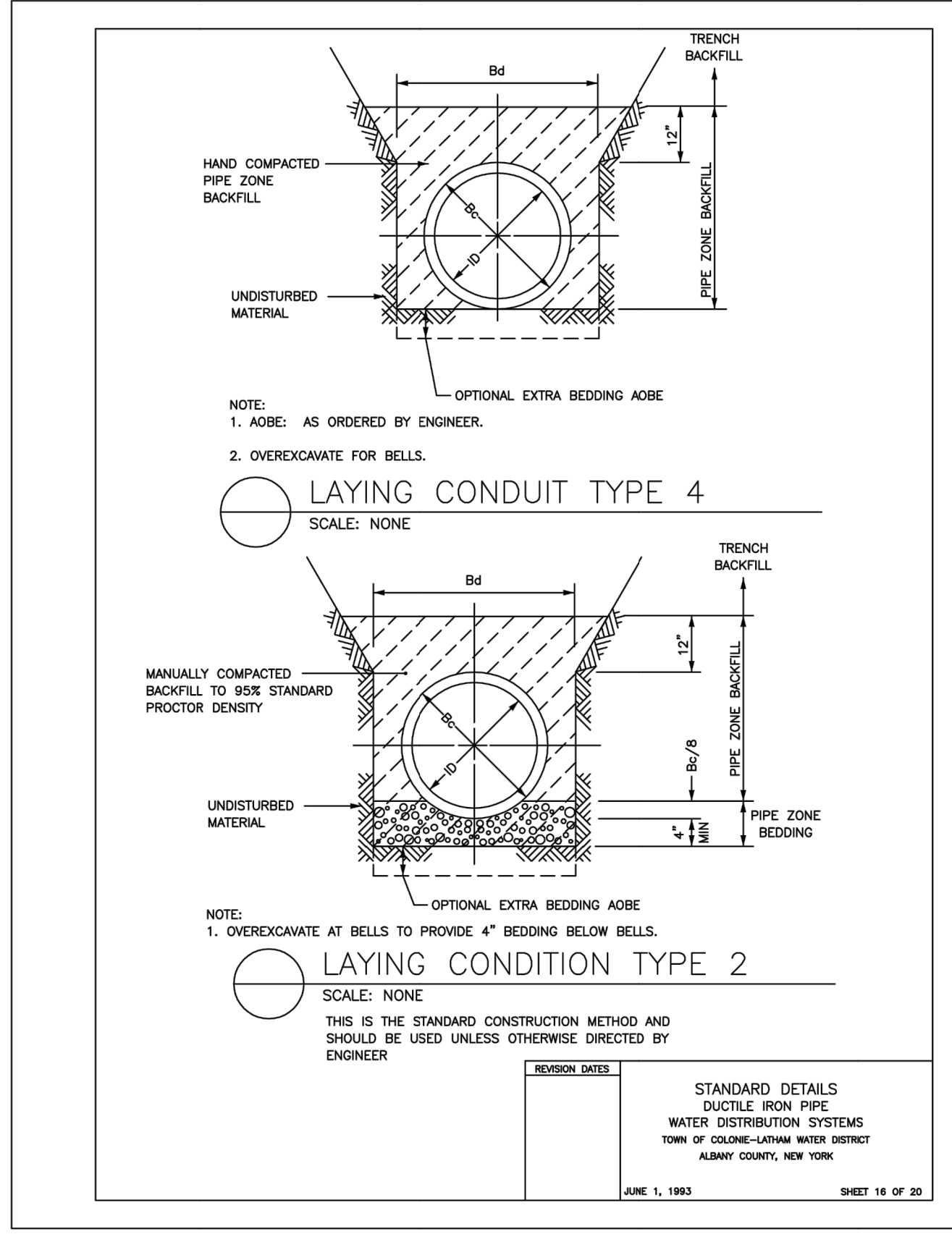
Types of Hydrant Installations 1/16
N.T.S. Source: Town of Colonie



Typical Mechanical Joints 1/16
N.T.S. Source: Town of Colonie



Building Drain Typical 1/16
N.T.S. Source: Town of Colonie



Laying Condition Type 2 1/16
N.T.S. Source: Town of Colonie

The Summit at Forts Ferry
33 & 45 Forts Ferry Road
Colonie, New York

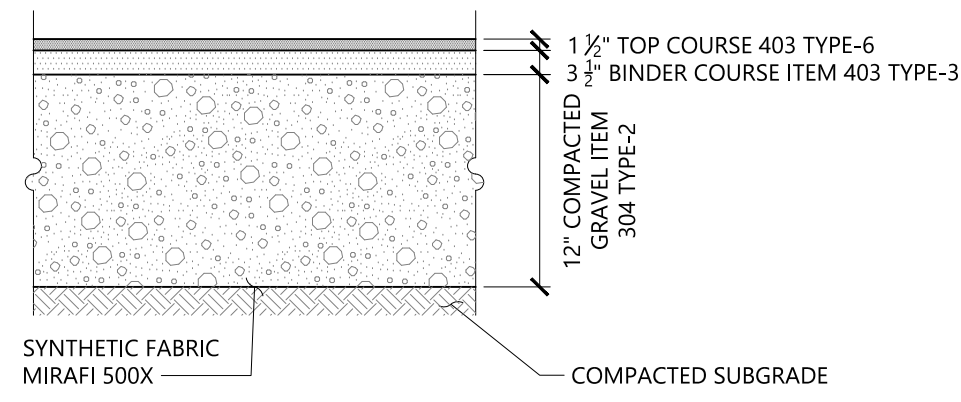
| No. | Revision | Date | App'd. |
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| Issued for | | CG | PM |
| Site Plan Review | | June 15, 2018 | |

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Site Details 2

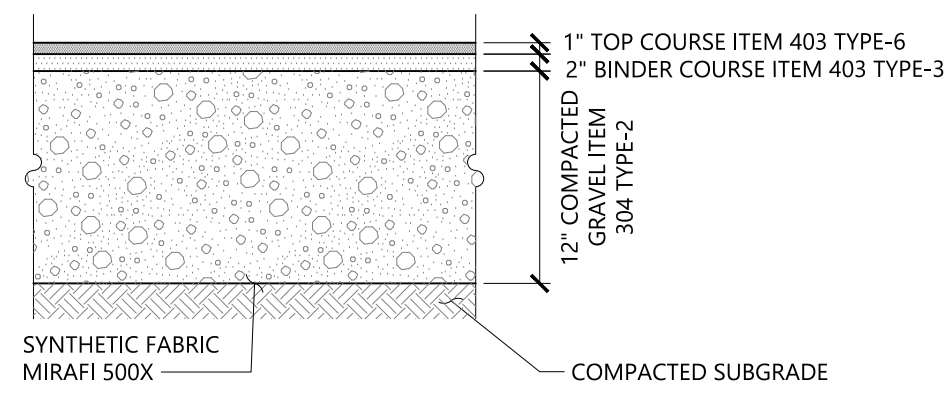


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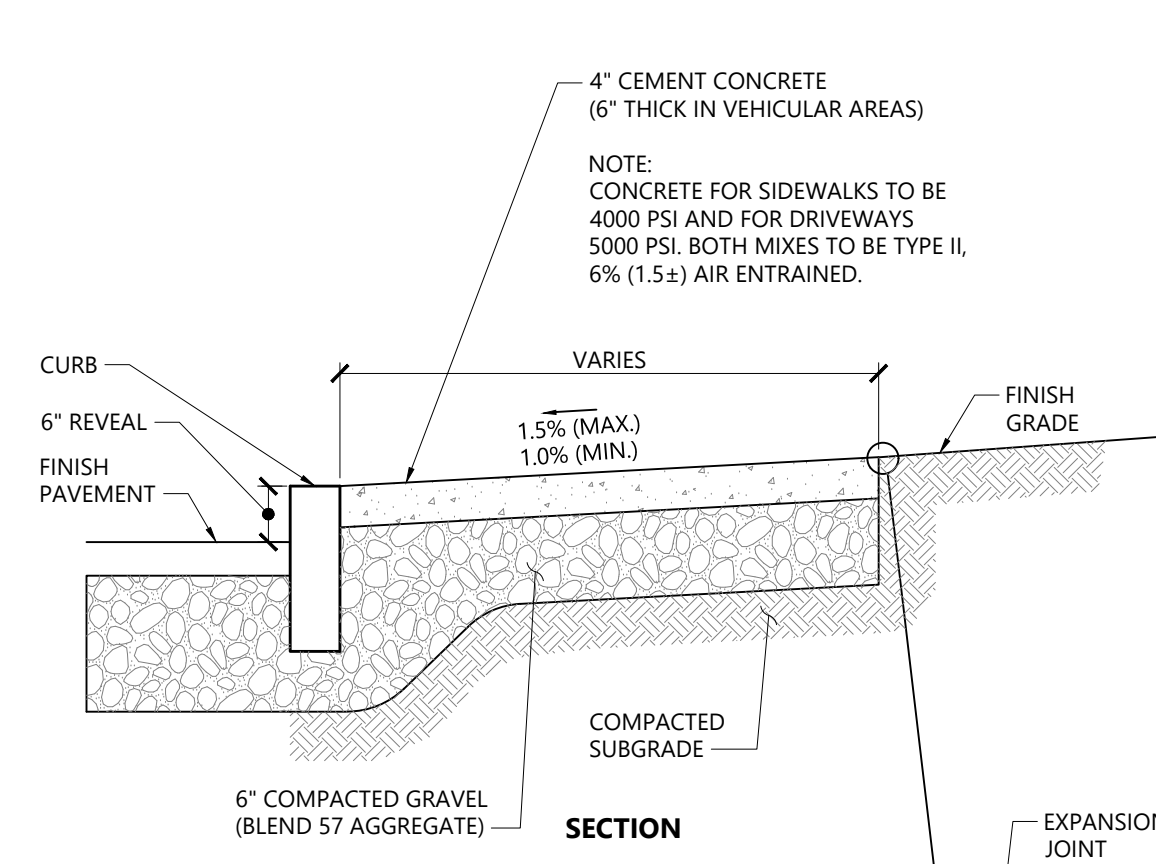


HEAVY DUTY FLEXIBLE PAVEMENT



STANDARD DUTY FLEXIBLE PAVEMENT

Bituminous Concrete Pavement Sections 1/16
N.T.S. Source: VHB LD_430



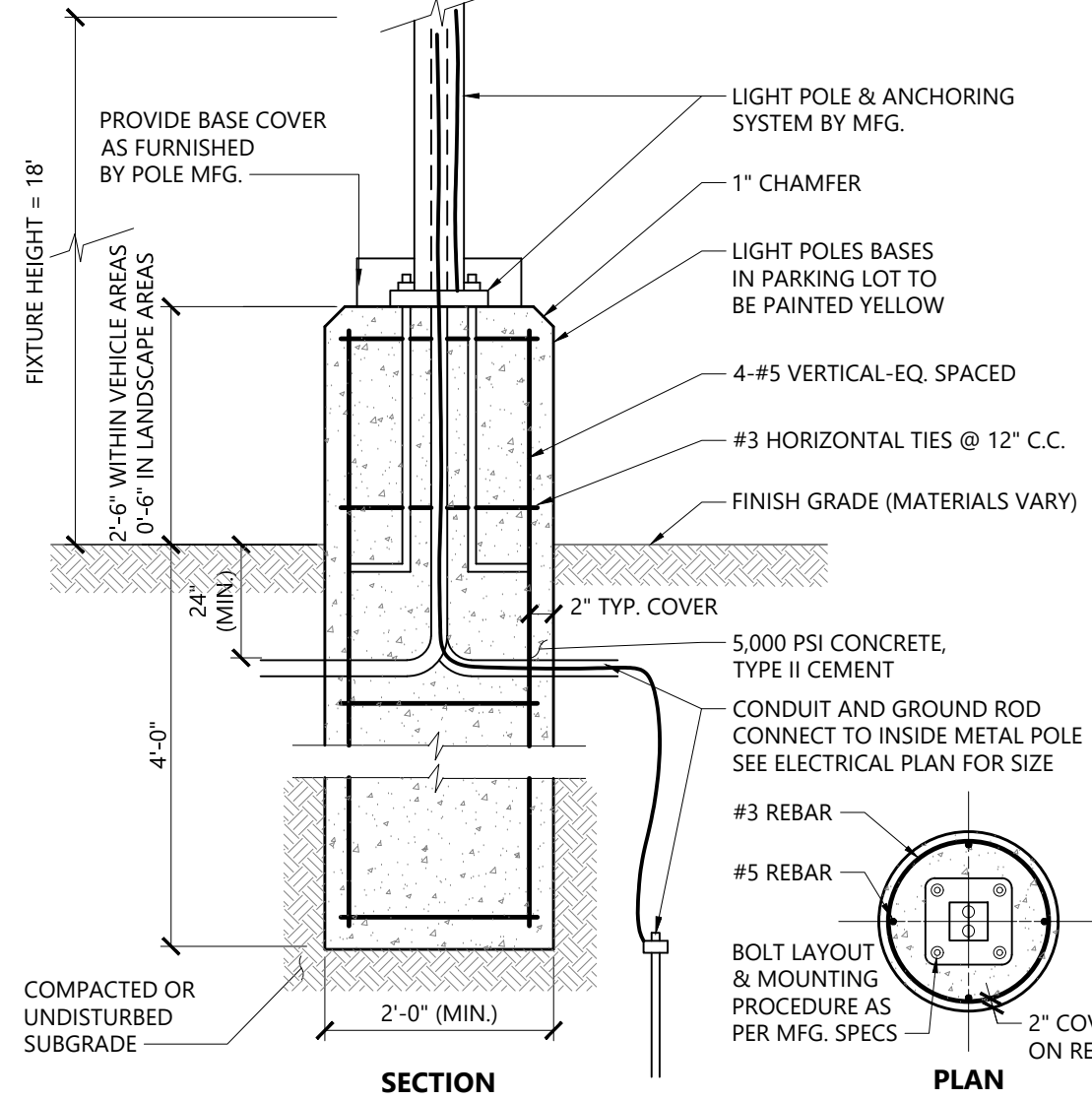
SECTION

EXPANSION JOINT DETAIL

NOTES

1. PROVIDE EXPANSION JOINTS
2. AT MIN. 30 FT. O.C. WITH PREFORMED JOINT FILLER.
3. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
4. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

Concrete Sidewalk 1/16
N.T.S. Source: VHB LD_420



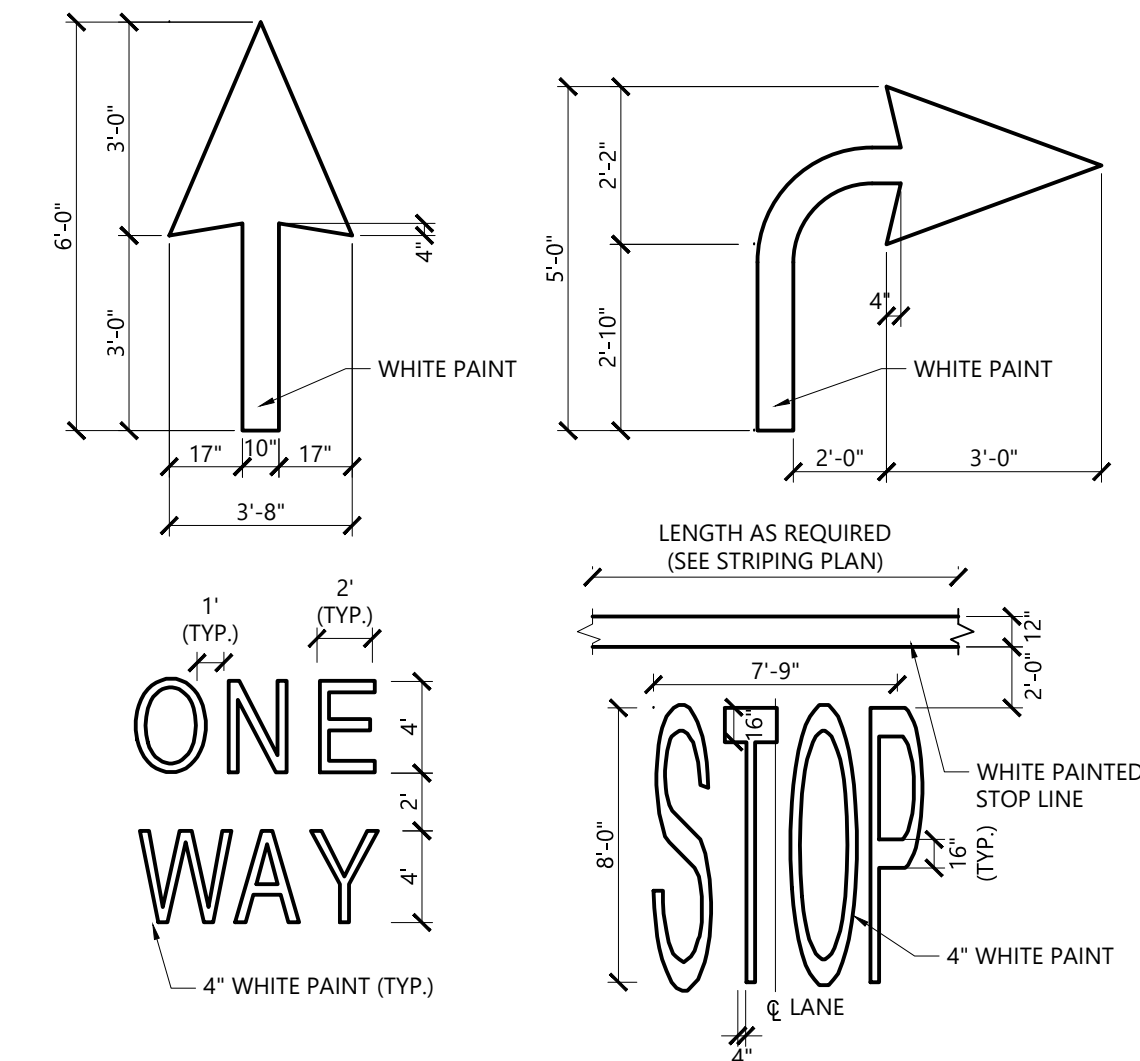
SECTION

PLAN

NOTES

LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

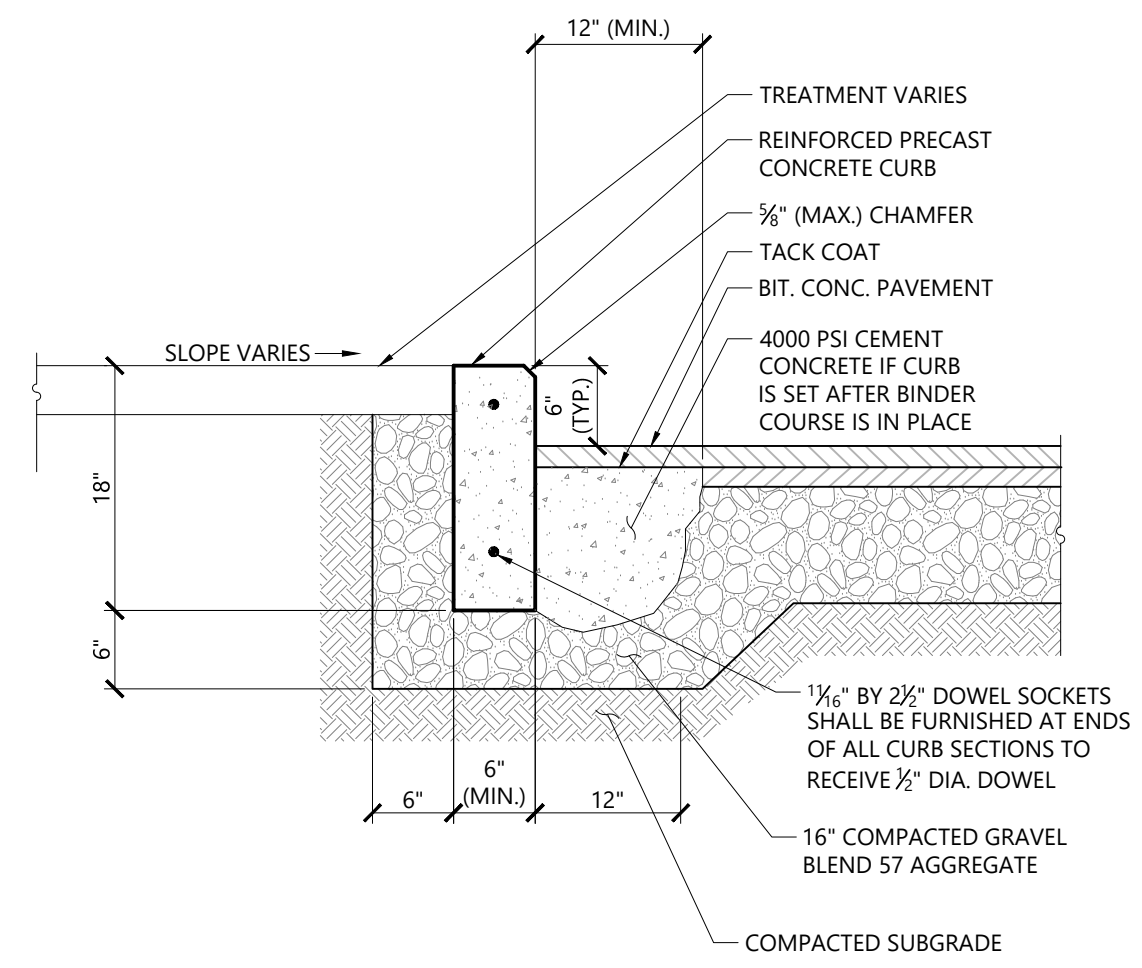
Light Pole Foundation Detail (Up to 15' Pole) 1/16
N.T.S. Source: VHB LD_310A



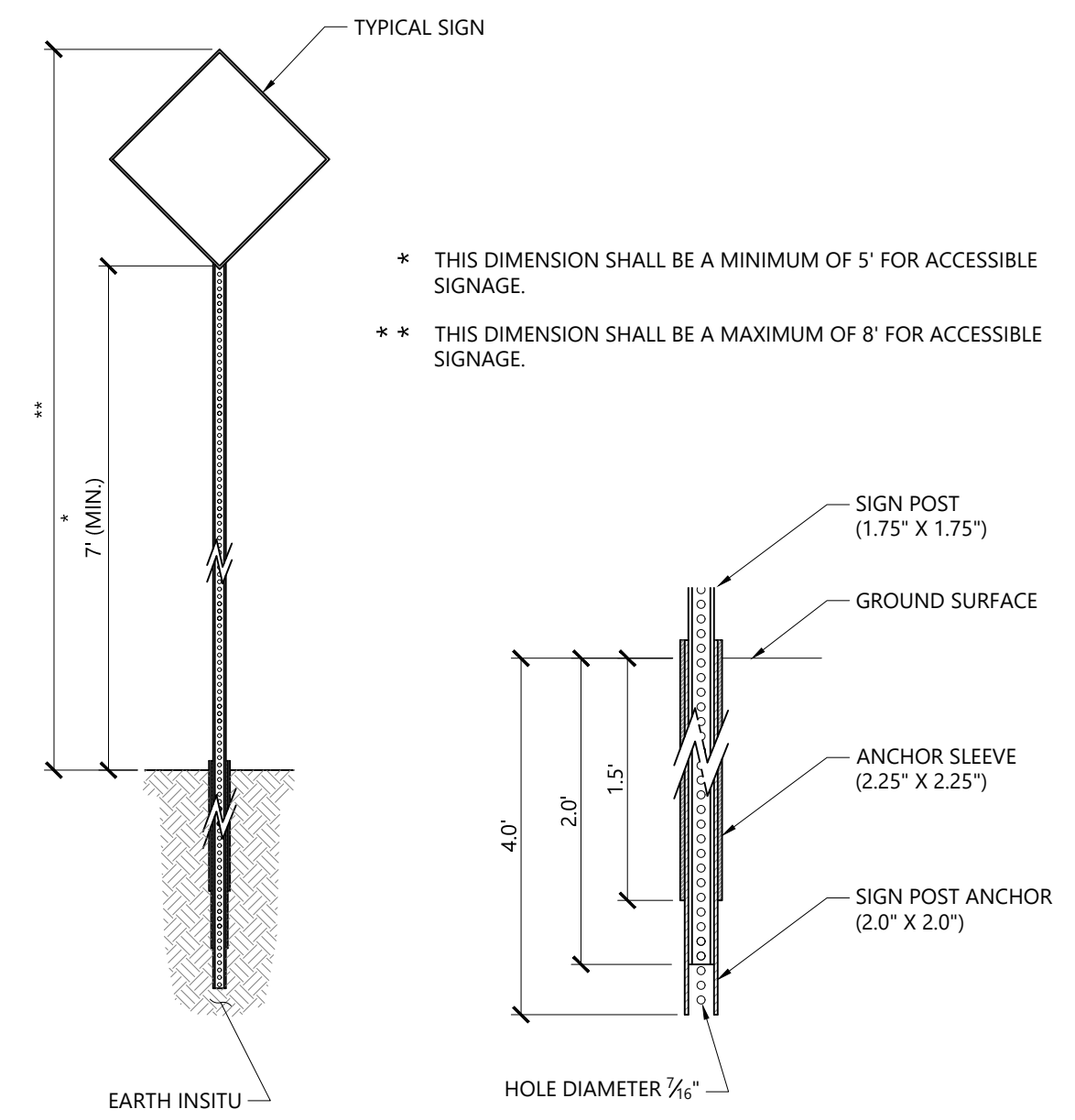
NOTES

1. PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

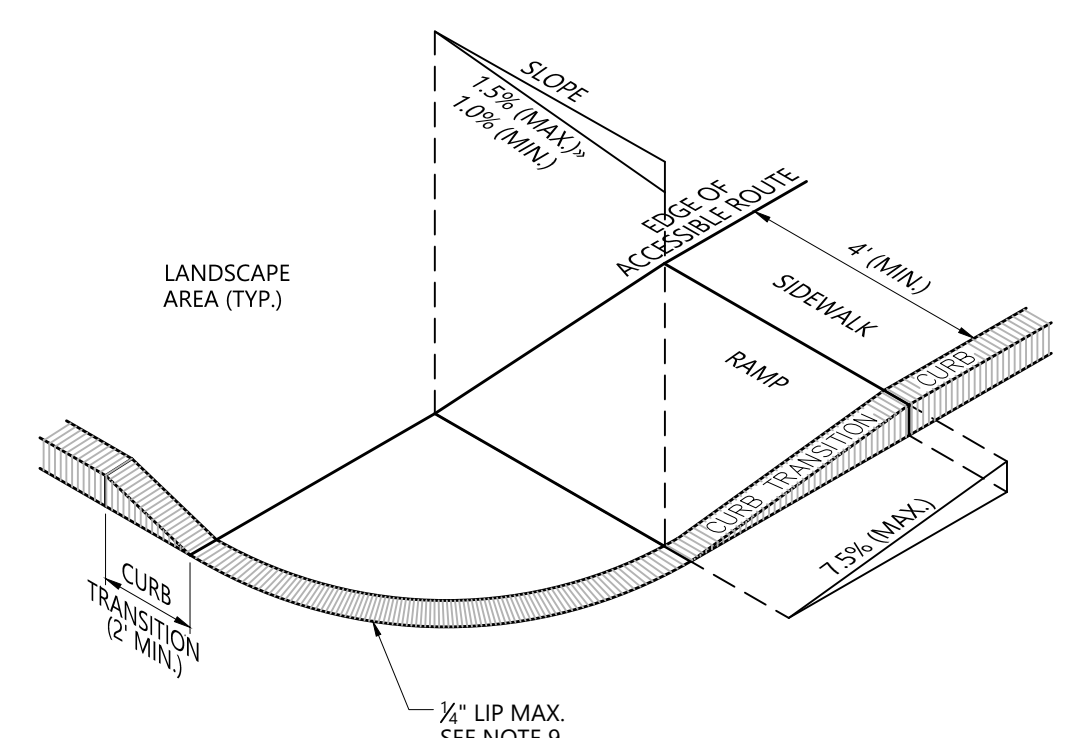
Painted Pavement Markings - On Site 1/16
N.T.S. Source: VHB LD_554



Precast Concrete Curb (PCC) 1/16
N.T.S. Source: VHB LD_404



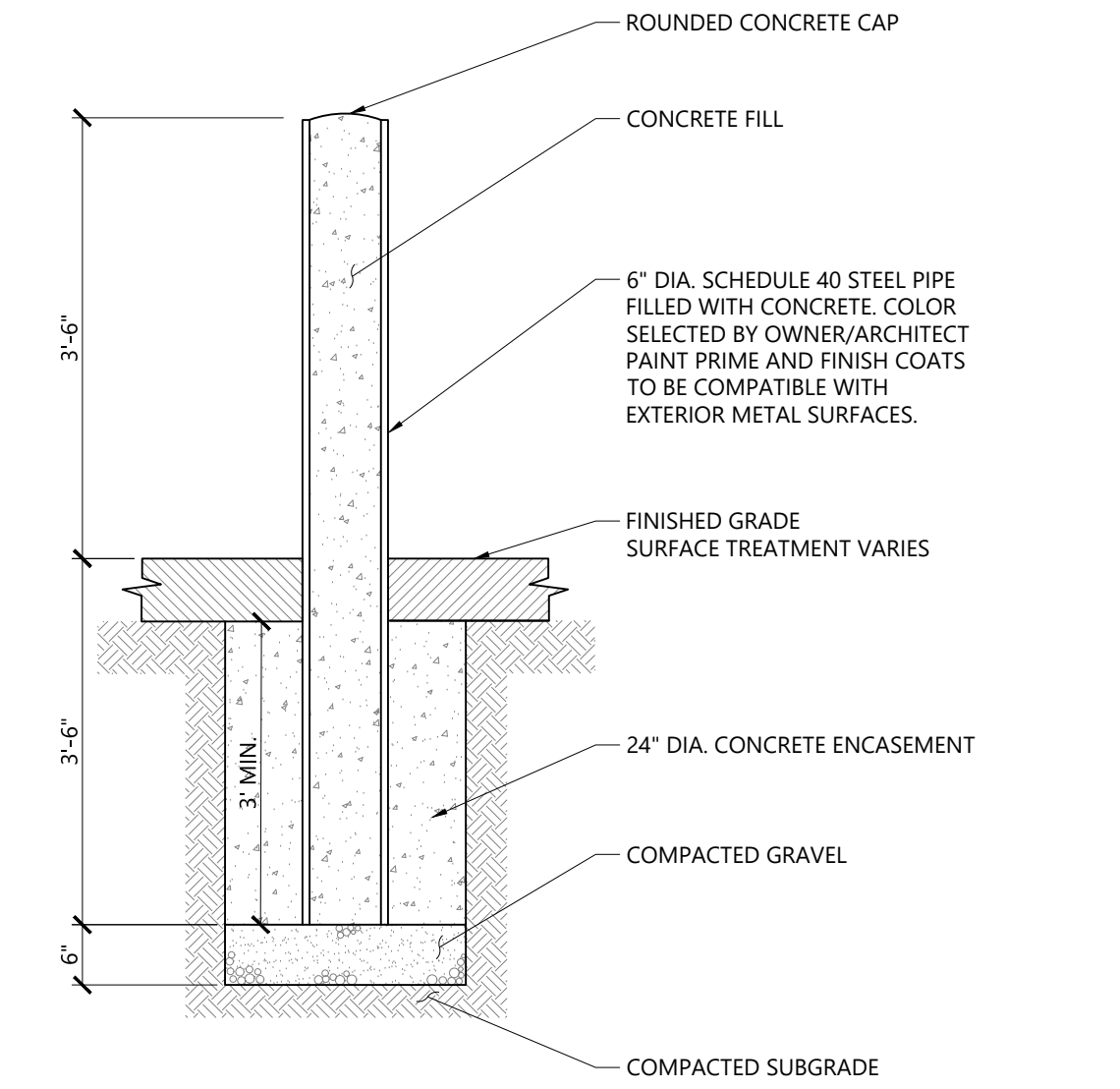
Sign Post - Type 'B' 1/16
N.T.S. Source: VHB LD_702



NOTES

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

Accessible Curb Ramp (ACR) - Type 'B' 1/16
N.T.S. Source: VHB LD_501



Bollard 9/17
N.T.S. Source: VHB LD_700

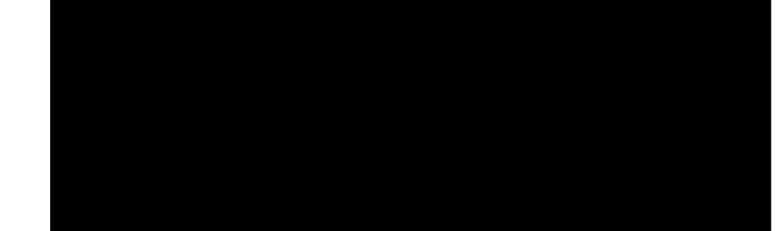
The Summit at Forts Ferry
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Site Plan Review June 15, 2018

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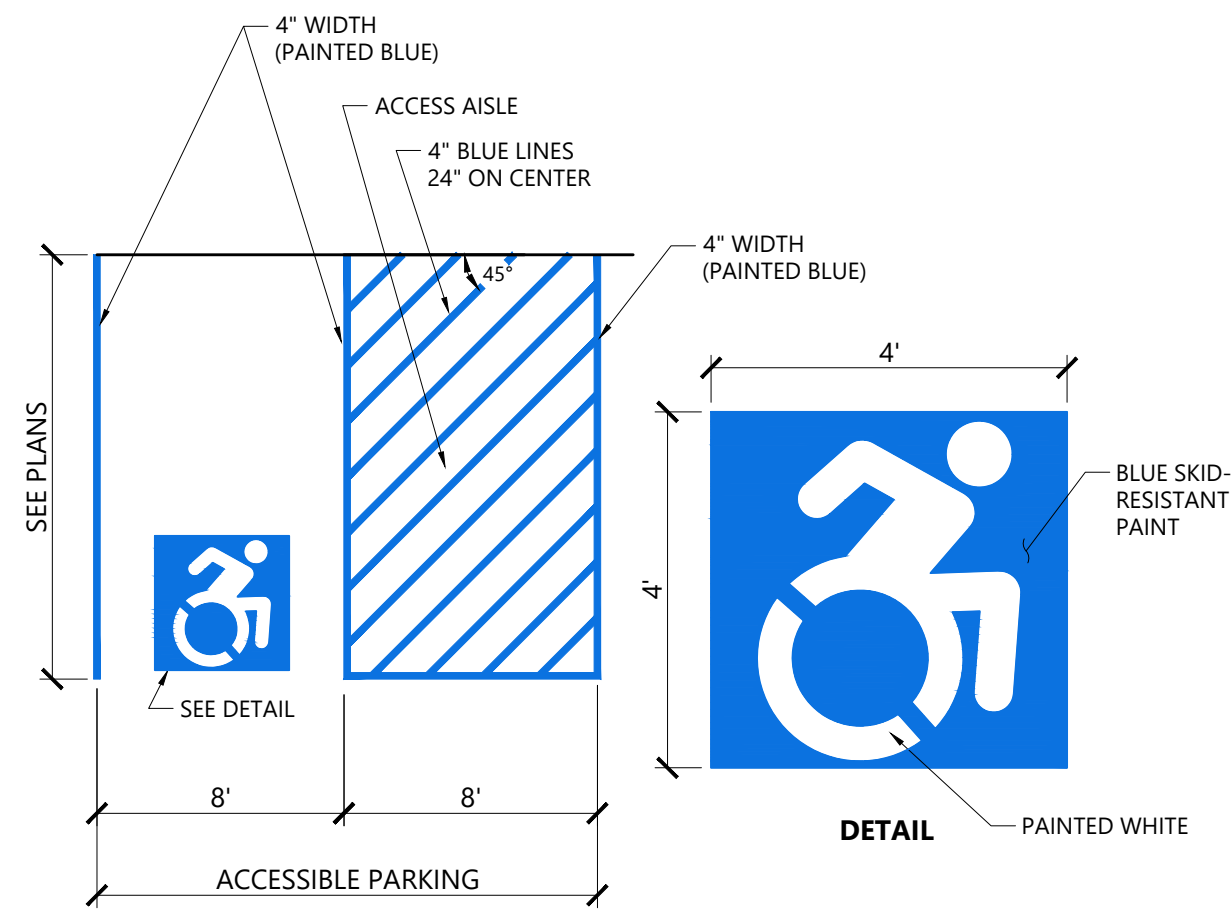
Site Details 3



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Project Number 29466.00

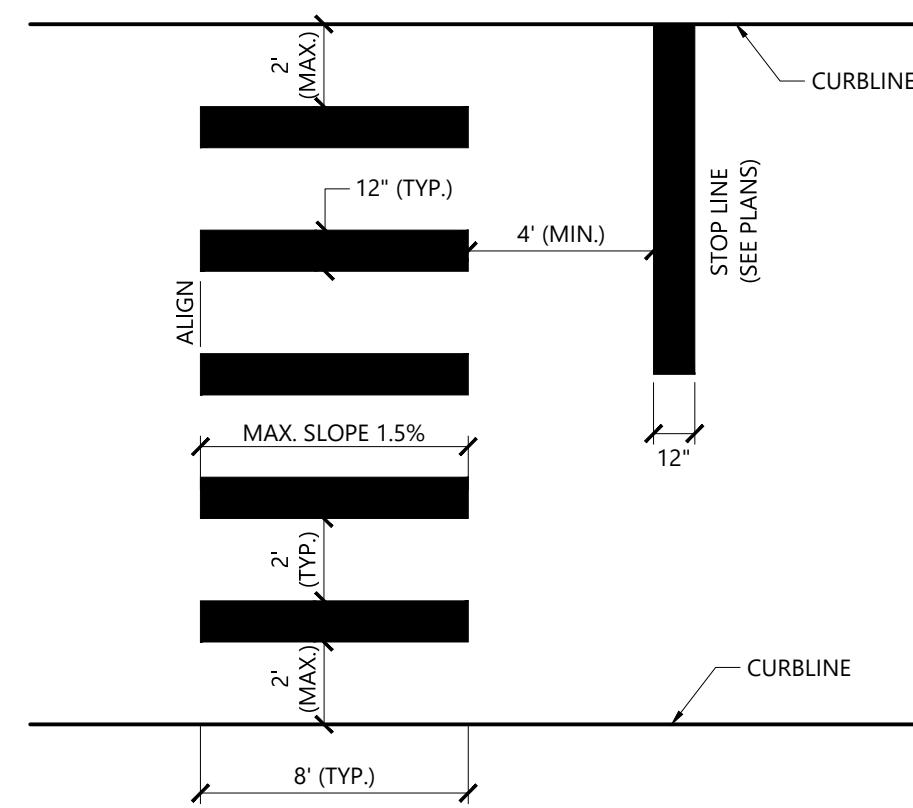


NOTES

1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
2. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.
4. THE ACCESSIBLE SYMBOL DEPICTED ABOVE DOES NOT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND IS SHOWN FOR COMPLIANCE WITH STATE AND LOCAL REGULATIONS ONLY.

Accessible Parking Space

N.T.S. Source: VHB 1/16 LD_552c

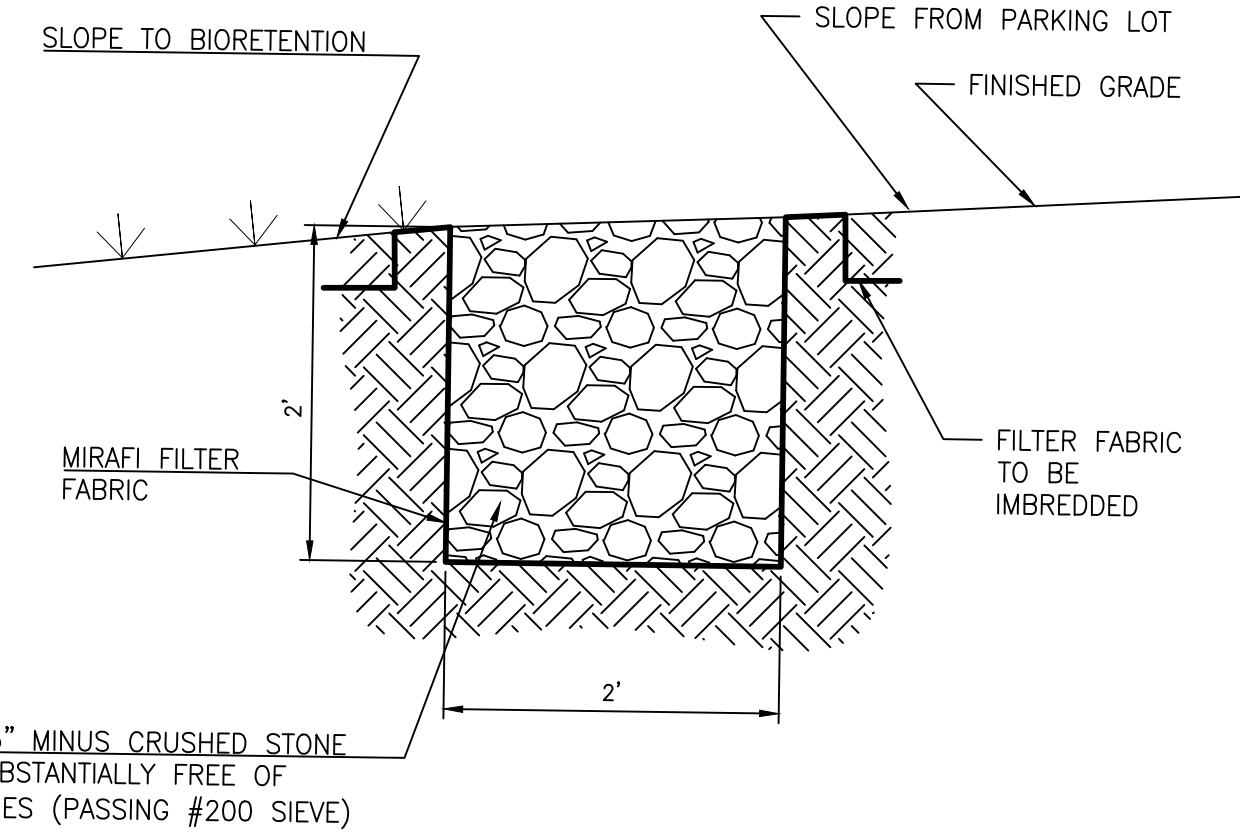


NOTES

1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION. NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
4. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

Crosswalk

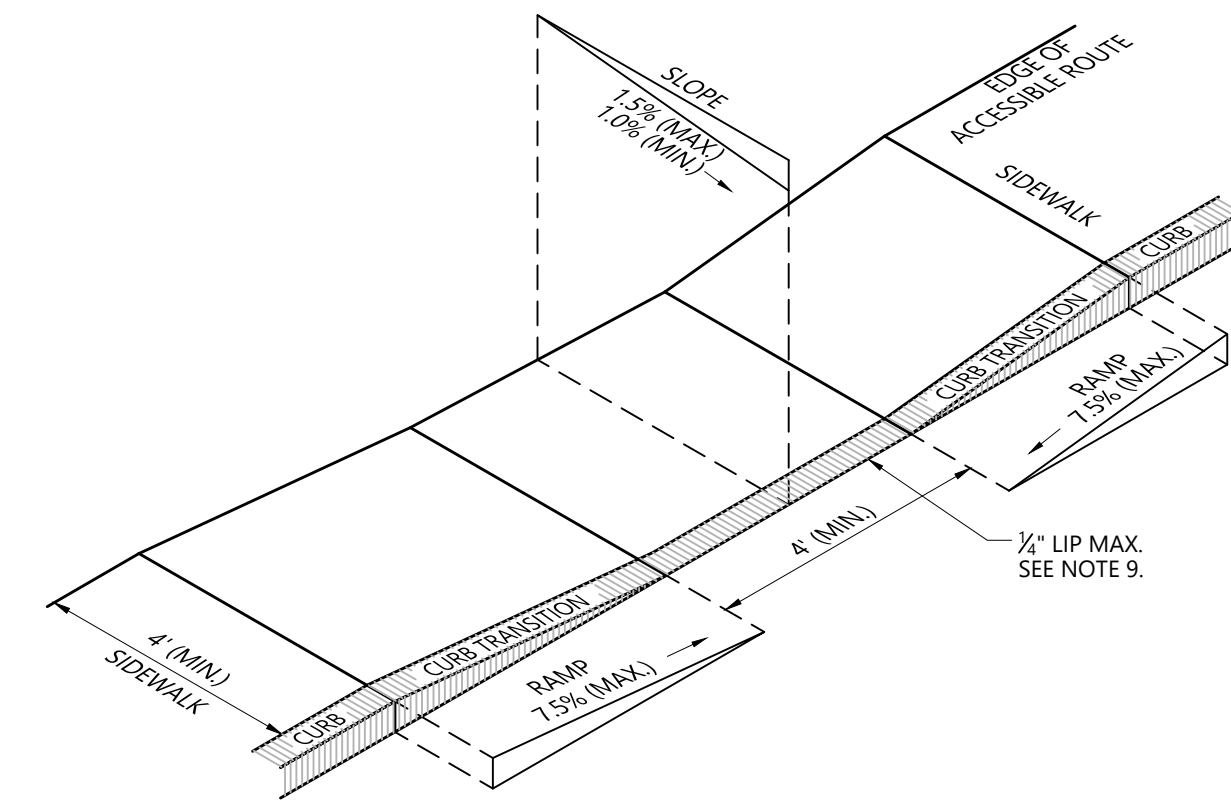
N.T.S. Source: VHB 1/16 LD_553



1.5" MINUS CRUSHED STONE SUBSTANTIALLY FREE OF FINES (PASSING #200 SIEVE)

Gravel Diaphragm Section

N.T.S.

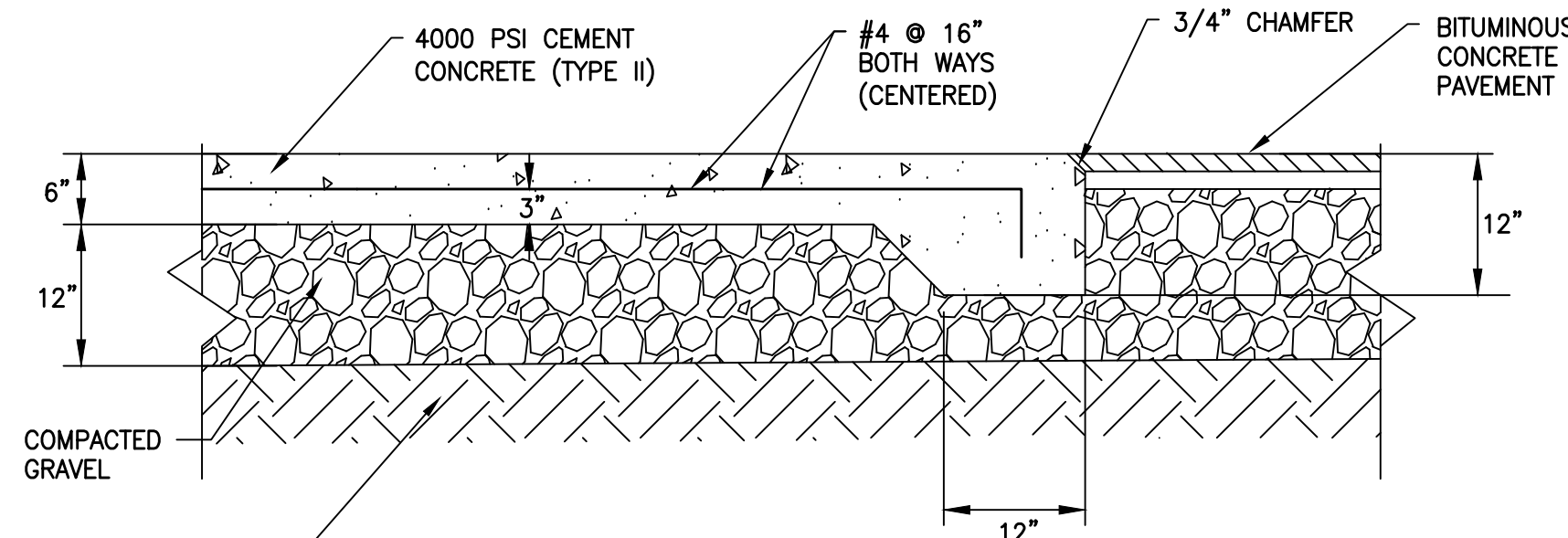


NOTES

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMP SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

Accessible Curb Ramp (ACR) Type 'A'

N.T.S. Source: VHB 1/16 LD_500

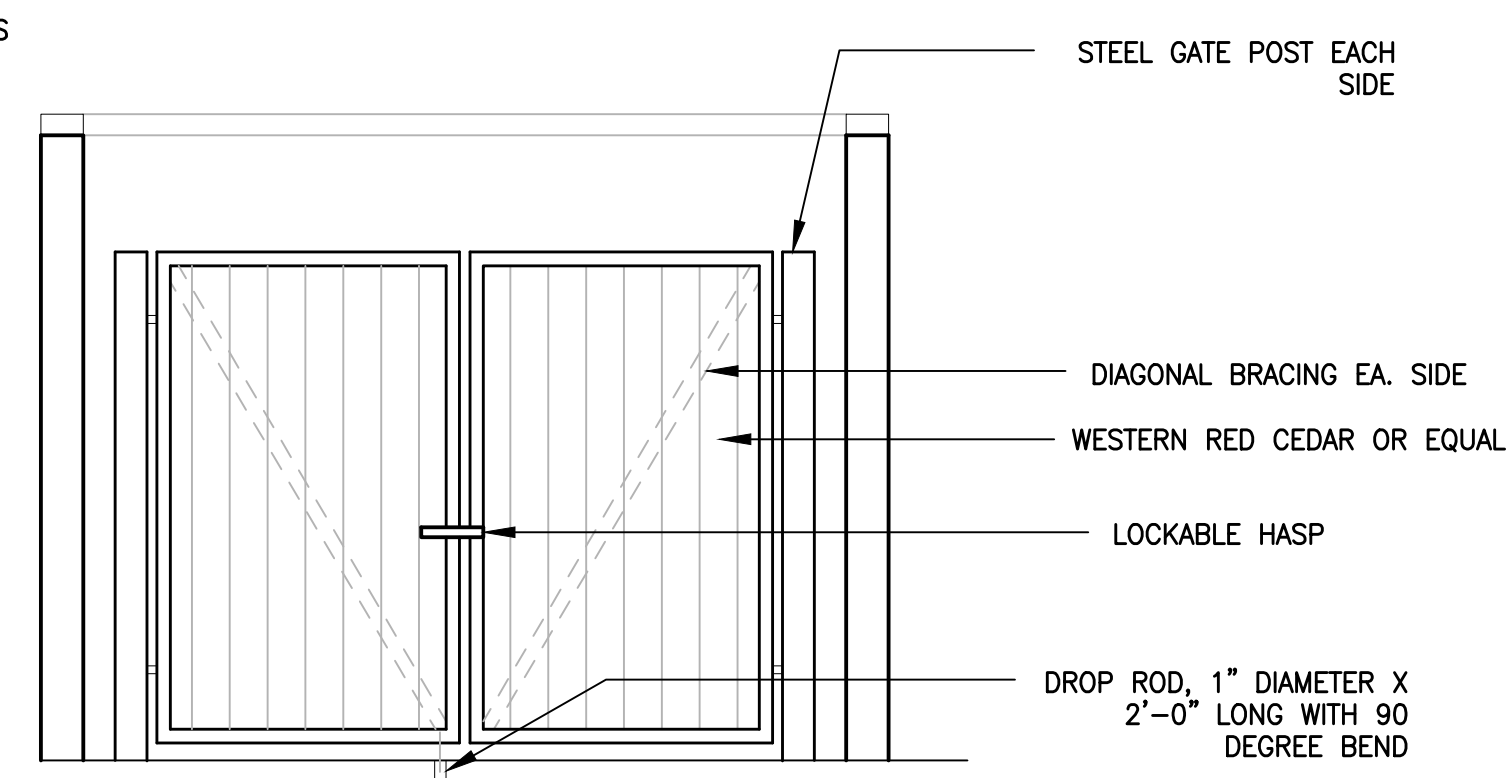


NOTES:

1. SIZE OF DUMPSTER PAD TO BE AS INDICATED ON PLANS.
2. CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 40 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF PAD.

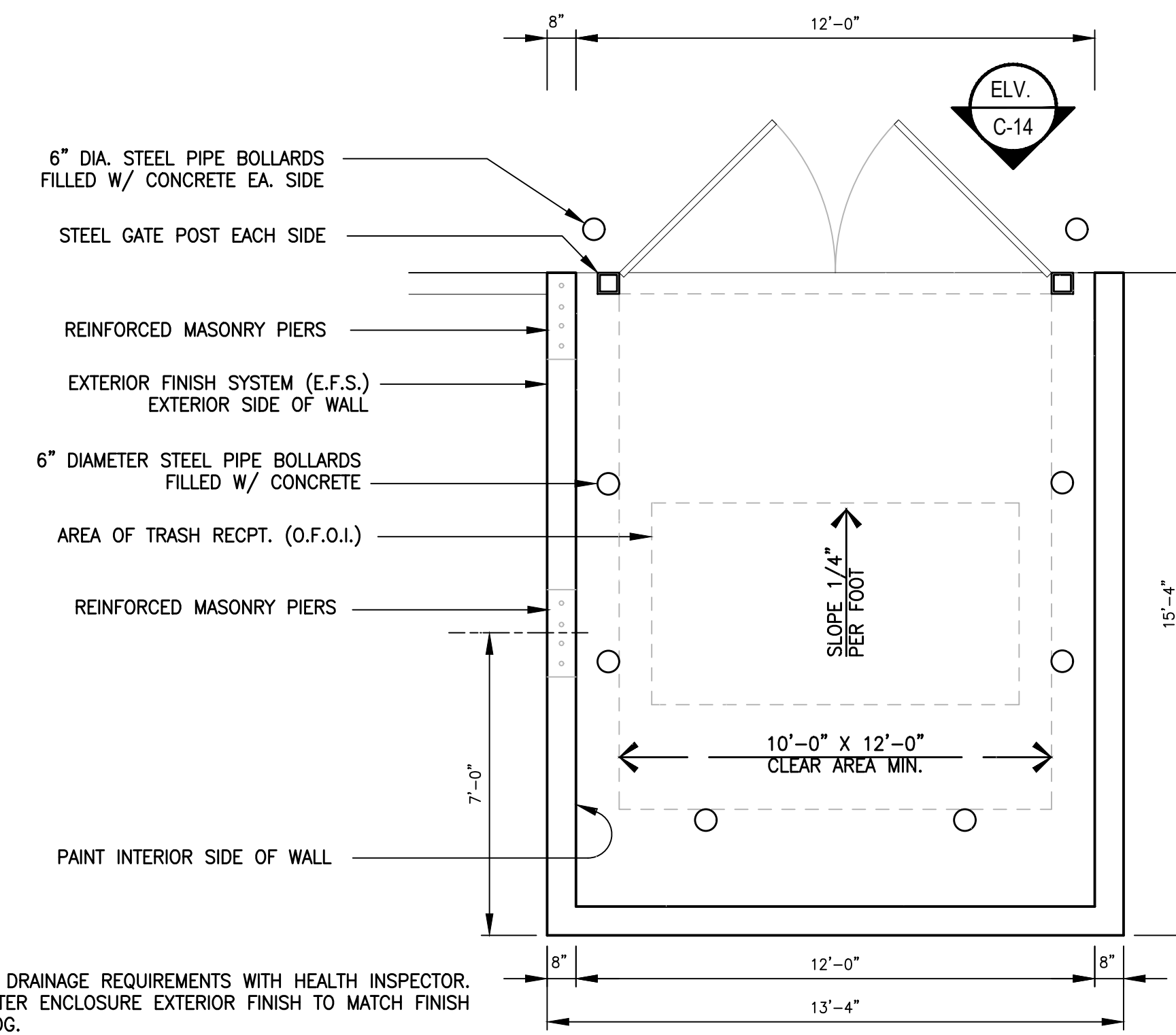
Dumpster Pad Detail

N.T.S.



Storage and Trash Enclosure Elevation

N.T.S.



NOTES:

1. VERIFY DRAINAGE REQUIREMENTS WITH HEALTH INSPECTOR.
2. DUMPSTER ENCLOSURE EXTERIOR FINISH TO MATCH FINISH OF BLDG.

Storage and Trash Enclosure Plan

N.T.S.

The Summit at Forts Ferry

33 & 45 Forts Ferry Road
Colonie, New York

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Site Details 4



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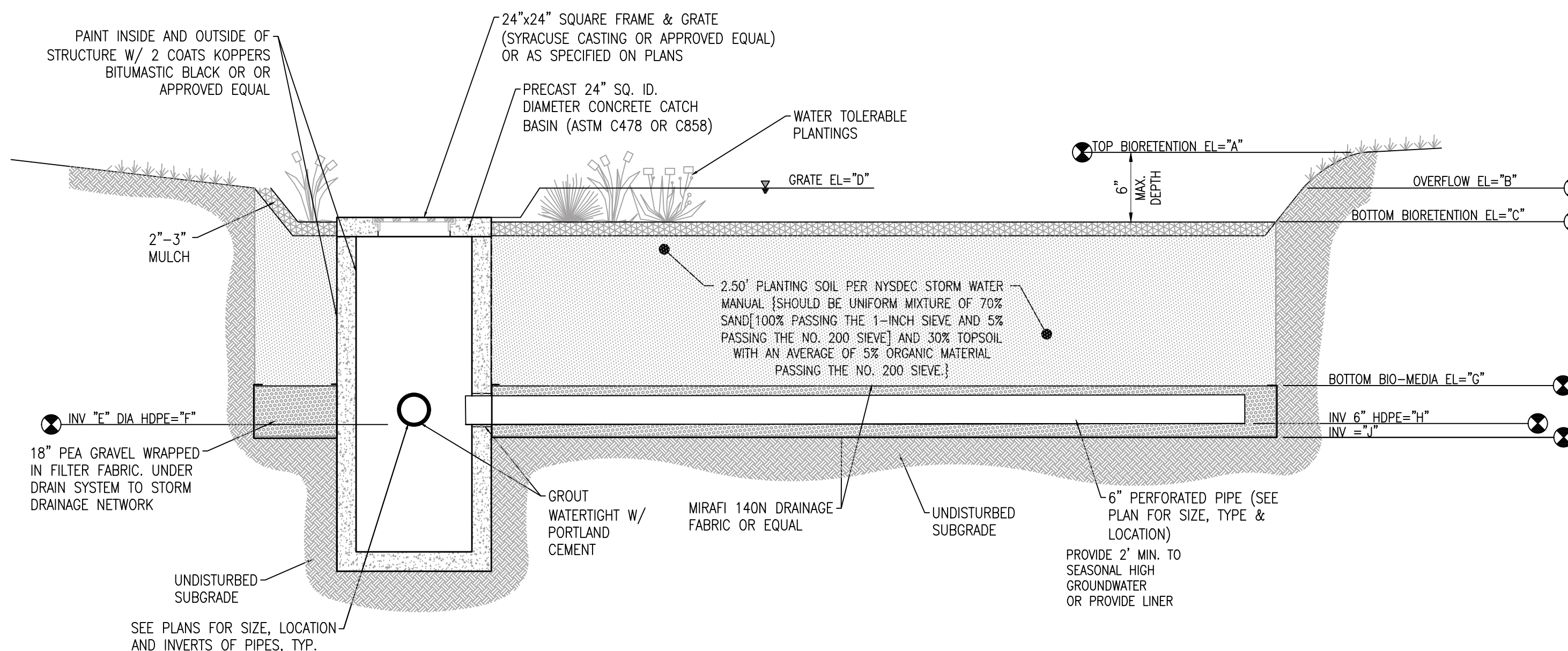
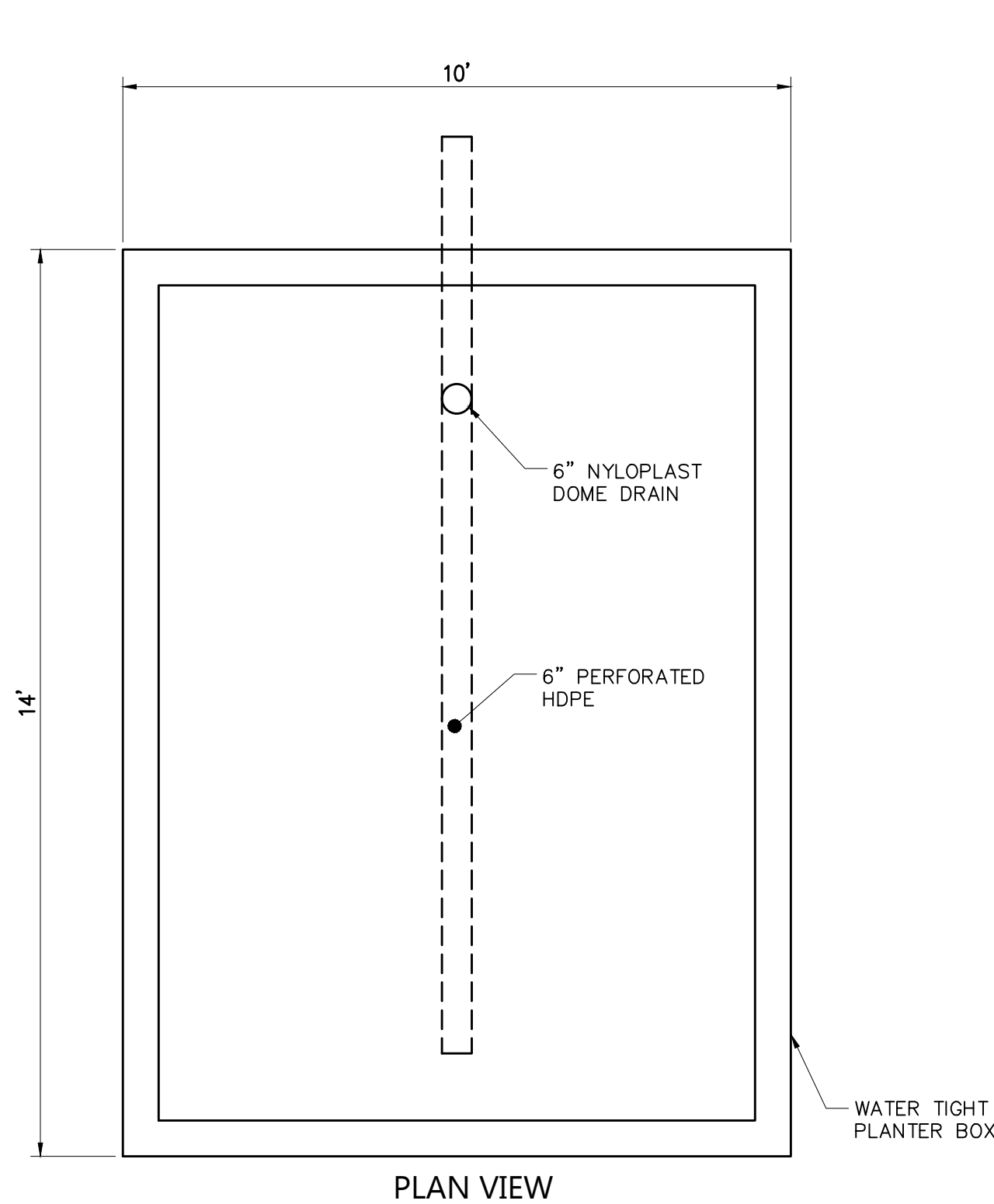
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NOTES:

- BIORETENTION FACILITIES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH "THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL", CHAPTER 6.
- PLANTING SOIL SHALL BE TESTED & MEET THE FOLLOWING CRITERIA:
PH RANGE 5.2-7.0
ORGANIC MATTER 1.5-4%
MAGNESIUM 35 LB/AC
PHOSPHOROUS P₂O₅ 75LB/AC
POTASSIUM K₂O 85/AC
SOLUBLE SALTS NOT TO EXCEED 500PPM
- ROTOILL 2-3" OF SAND BASE INTO THE BASE OF THE BIORETENTION FACILITY.
- BACK FILLING OF BIORETENTION FACILITY SHALL BE PLACED IN 12" LIFTS.
- MAIN COLLECTOR PIPE OF THE UNDER DRAIN SYSTEM SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5% OBSERVATION WELLS OR CLEAN OUT PIPES MUST BE PLACED EVERY 100SF OF SURFACE AREA.
- BIORETENTION AREA MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- BIORETENTION MEDIA SHALL HAVE AN INFILTRATION RATE OF APPROXIMATELY 0.5" PER HOUR.



TYPICAL BIO-RETENTION SECTION

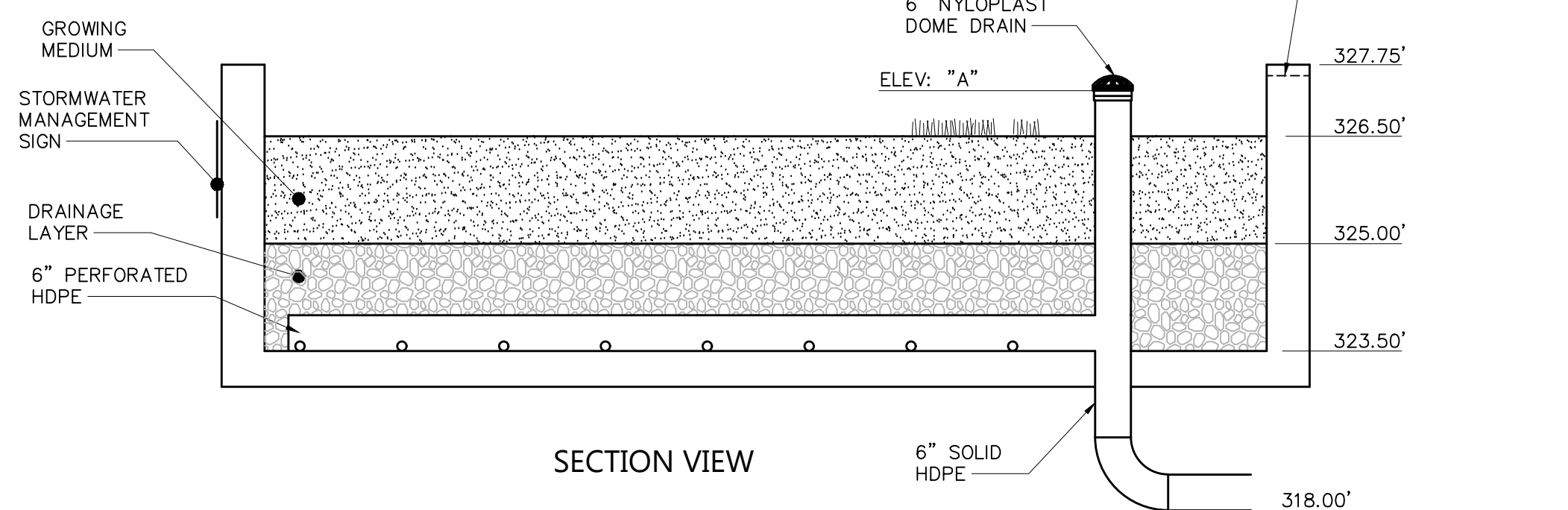
N.T.S.

BIORETENTION DESIGN INFORMATION

| PRACTICE | A | B | C | D | E | F | G | H | J |
|----------|---------|---------|---------|---------|---------|-------|---------|---------|---------|
| 2CP | 322.00' | 322.00' | 321.50' | 321.55' | 317.50' | 12.0" | 319.00' | 317.50' | 317.50' |
| 2DP | 322.00' | 322.00' | 321.50' | 321.60' | 317.50' | 12.0" | 319.00' | 317.50' | 317.50' |
| 2HP | 324.00' | 324.00' | 323.50' | 323.56' | 319.50' | 12.0" | 321.00' | 319.50' | 319.50' |
| 2JP | 322.75' | 322.75' | 322.25' | 322.35' | 318.25' | 12.0" | 319.75' | 318.25' | 318.25' |

STORM EVENT ELEVATIONS

| PRACTICE | WQv | 1-YR | 10-YR | 100-YR |
|----------|---------|---------|---------|---------|
| 2CP | 321.55' | 321.66' | 321.77' | 321.89' |
| 2DP | 321.53' | 321.70' | 321.83' | 321.95' |
| 2HP | 323.56' | 323.69' | 323.84' | 323.97' |
| 2JP | 322.31' | 322.41' | 322.45' | 322.49' |



STORM EVENT ELEVATIONS

| PRACTICE | A | WQv | 1-YR | 10-YR | 100-YR |
|----------|---------|---------|---------|---------|---------|
| 2EP1 | 327.12' | 327.12' | 327.24' | 327.30' | 327.47' |
| 2FP1 | 327.12' | 327.12' | 327.24' | 327.30' | 327.47' |
| 3BP1 | 327.15' | 327.16' | 327.27' | 327.33' | 327.54' |
| 3CP1 | 327.15' | 327.16' | 327.27' | 327.33' | 327.54' |
| 3DP1 | 327.12' | 327.12' | 327.24' | 327.30' | 327.47' |

STORMWATER PLANTER

N.T.S.

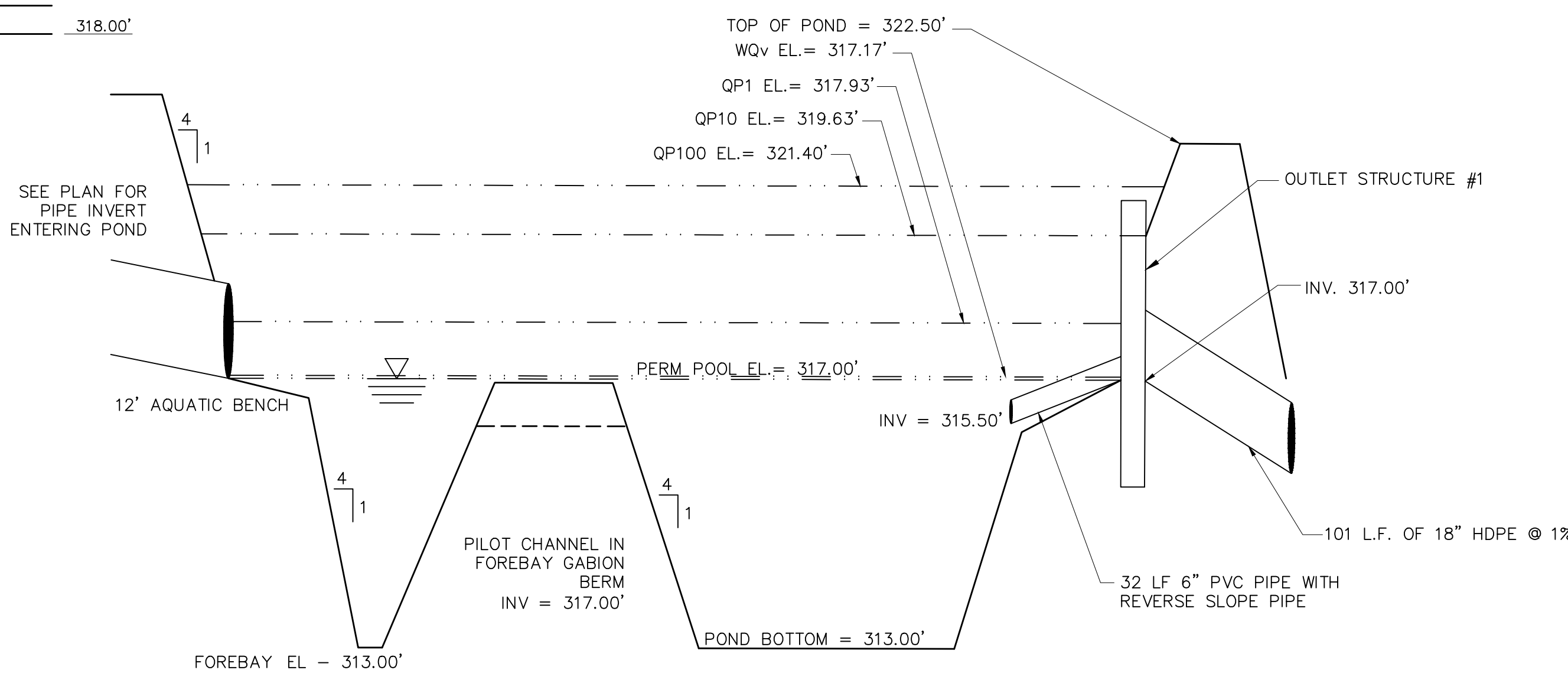
SOIL SPECIFICATIONS FOR THE STORMWATER PLANTER GROWING MEDIUM SHOULD ALLOW AN INFILTRATION RATE OF 2 INCHES PER HOUR, AND 5 INCHES AN HOUR FOR THE DRAINAGE LAYER.

SOIL COMPACTION MUST BE NO GREATER THAN 85% IN THE PLANTER.

THE GROWING MEDIUM DEPTH FOR ALL FIVE STORMWATER PLANTERS SHOULD BE 18 INCHES. GROWING MEDIA SHOULD BE A UNIFORM MIXTURE OF 70% SAND (100% PASSING THE 1-INCH SIEVE AND 5% PASSING THE NO. 200 SIEVE) AND 30% TOPSOIL WITH AN AVERAGE OF 5% ORGANIC MATERIAL, SUCH AS COMPOST OR PEAT, FREE OF STONES, ROOTS AND WOODY DEBRIS AND ANIMAL WASTE.

THE DRAINAGE LAYER SHOULD HAVE A DEPTH OF 18 INCHES. DRAINAGE LAYER SHOULD BE CLEAN SAND WITH 100% PASSING THE 1-INCH SIEVE AND 5% PASSING THE NO. 200 SIEVE.

PLANTERS SHALL BE PLANTED WITH A MIXTURE OF BLUE JOINT, CARDINAL FLOWER, SWITCHGRASS & REDTOP.



POCKET POND SECTION 2BP

N.T.S.

P E R S O N

BIORETENTION PLANT LIST

| ABRV | QTY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING |
|------|-----|----------------------|--------------------|----------|---------|
| E | X | EUPATORIUM MACULATUM | JOE PYE WEED | #1 CONT. | 24" |
| G | X | LOBELIA SIPHATICA | GREAT BLUE LOBELIA | #1 CONT. | 12" |
| R | X | CORNUS STOLONIFERA | RED OSIER DOGWOOD | #1 CONT. | 4' |
| P | X | ILEX VERTICILLATA | WINTERBERRY | #1 CONT. | 4' |
| V | X | CAREX VULPINOIDEA | FOX SEDGE | #1 CONT. | 12" |
| S | X | PANICUM VIRGATUM | SWITCH GRASS | #1 CONT. | 3' |

MATERIALS SPECIFICATION FOR BIORETENTION

| PARAMETERS | SPECIFICATIONS | SIZE | NOTES: |
|--------------------------------------|--|---|--|
| PLANTINGS | SEE YORK LOCAL WRES STANDARD SPECIFICATIONS GUIDANCE | N/A | PLANTINGS ARE SITE-SPECIFIC |
| PLANTING SOILS [2.5" DEEP] | SAND 50% TOPSOIL 50% | N/A | USDA SOIL TYPES LOAMY SAND, SANDY LOAM OR LOAM |
| MULCH | RIVER RUN ROUND STONE PEA GRAVEL DIAPHRAGM AND CURTAIN DRAIN | 1"-2.5" PEA GRAVEL: NO. 6 STONE: 2"-5" | |
| GEOTEXTILE | CLASS "C" APPARENT OPENING SIZE (ASTM-D-4751) GRAB TENSILE STRENGTH (ASTM-D-4632) BURST STRENGTH (ASTM-D-4633) | N/A | FOR USE AS NECESSARY BENEATH UNDERDRAINS ONLY |
| UNDERDRAIN GRAVEL | AASHTO M-43, NO. 67. | 0.25" - 0.75" | 3/8" PERFOR. @ 6" O.C., 4 HOLES PER ROW, MINIMUM OF 3" GRAVEL OVER PIES; NOT NECESSARY UNDERNEATH PIPES |
| UNDERDRAIN PIPING | ASTM D 1785 OR AASHTO M-278 | 6" RIGID SCHEDULE 40 PVC | 3/8" PERFOR. @ 6" O.C., 4 HOLES PER ROW |
| POUR IN PLACE CONCRETE (IF REQUIRED) | SEE LOCAL DOT STANDARDS SPECS; f' _c =3500PSI @ 28 DAYS, NORMAL WEIGHT, AIR-ENTRAINED, RE-INFORCED TO MEET ASTM 615-60 | N/A | ON-SITE TESTING OF POURED-IN-PLACE CONCRETE REQUIRED; 28 DAY STRENGTH AND SLUMP TEST; ALL CONCRETE DESIGN (CAST IN PLACE OR PRE-CAST) NOT USING PREVIOUSLY APPROVED STATE OR LOCAL STANDARDS REQUIRES DESIGN DRAWINGS SEAL & APPROVED BY A LICENSE PROFESSIONAL STRUCTURAL ENGINEER. |
| SAND [12" DEEP] | AASHTO M-6 OR ASTM C-33 | 0.02" - 0.04" | SAND SUBSTITUTION SUCH AS DIABASE GRANSTONE #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATE OR DOLOMITIC SAND SUBSTITUTE ARE ACCEPTABLE. NO "ROCK DUST" CAN BE USED FOR SAND. |

B S N V V P L

POCKET POND PLANT LIST

| ABRV | QTY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING |
|------|-----|---------------------------|------------------|----------|---------|
| B | 9 | CEPALHANTHUS OCCIDENTALIS | BUTTONBUSH | #1 CONT. | 4' MIN |
| N | 14 | NUFFHAR LUTEUM | SPATTERDOCK | #1 CONT. | 2' |
| S | 22 | SCIRPUS ACUTUS | HARDSTEM BULRUSH | #1 CONT. | 2' |
| P | 14 | POLYGONUM SPP | SMART WEED | #1 CONT. | 2' |
| L | 13 | LEMMA SP. | DUCKWEED | #1 CONT. | 2' |
| VV | 12 | SCIRPUS CYPERINUS | WOOL GRASS | #1 CONT. | 2' |

The Summit at Forts Ferry

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No. Revision Date Apprd.

1 TOWN REVIEW COMMENTS 9/21/2018 PM

Designed by CG Checked by PM

Issued for Site Plan Review Date June 15, 2018

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Site Details 5

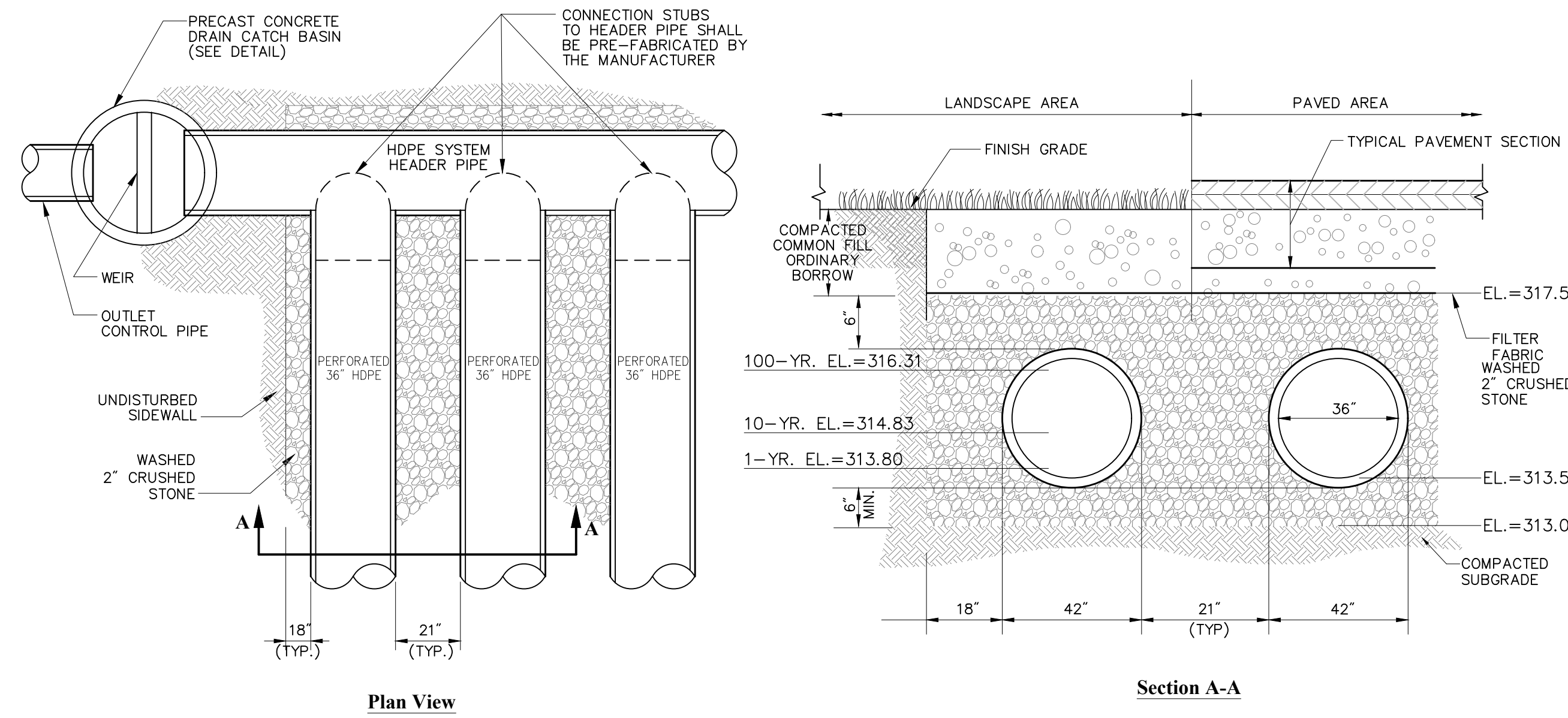
Drawing Number

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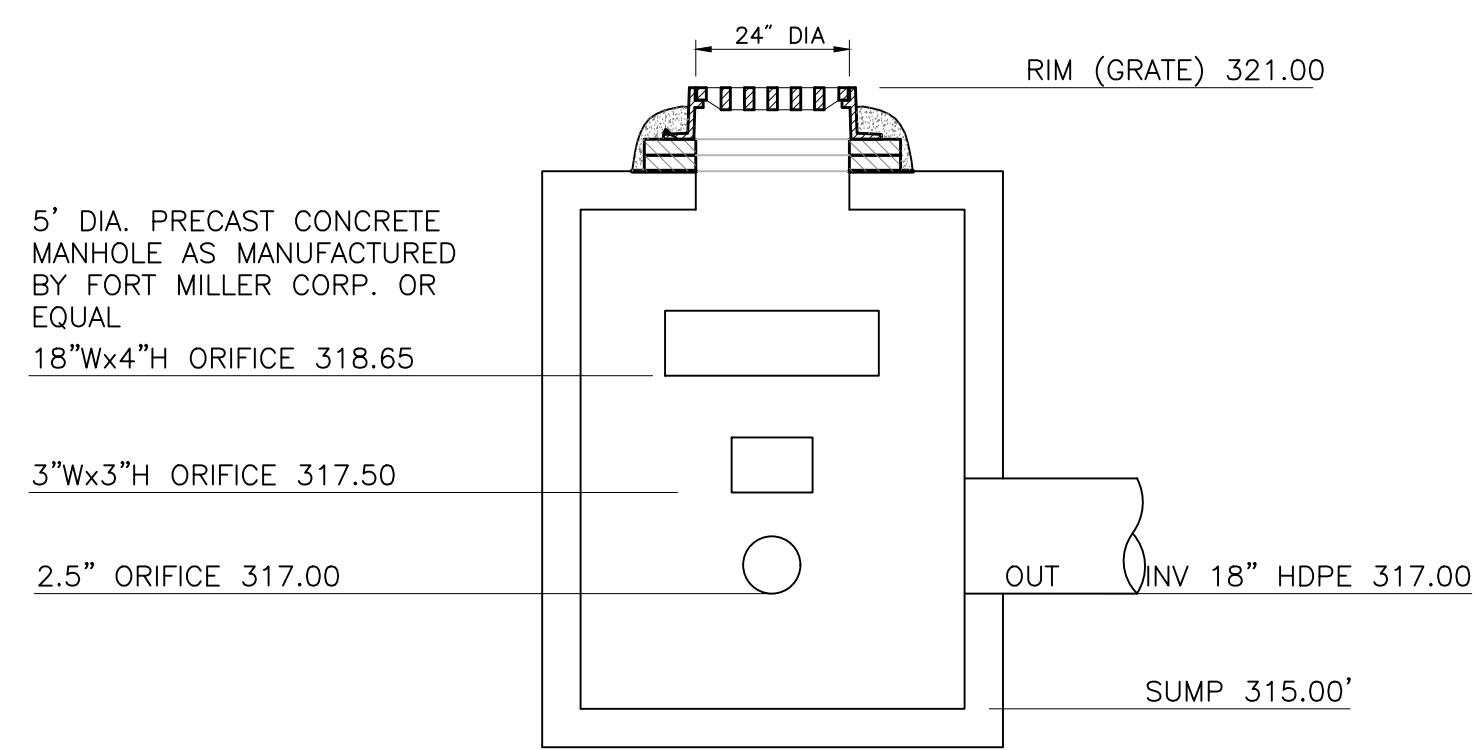


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Underground Detention System

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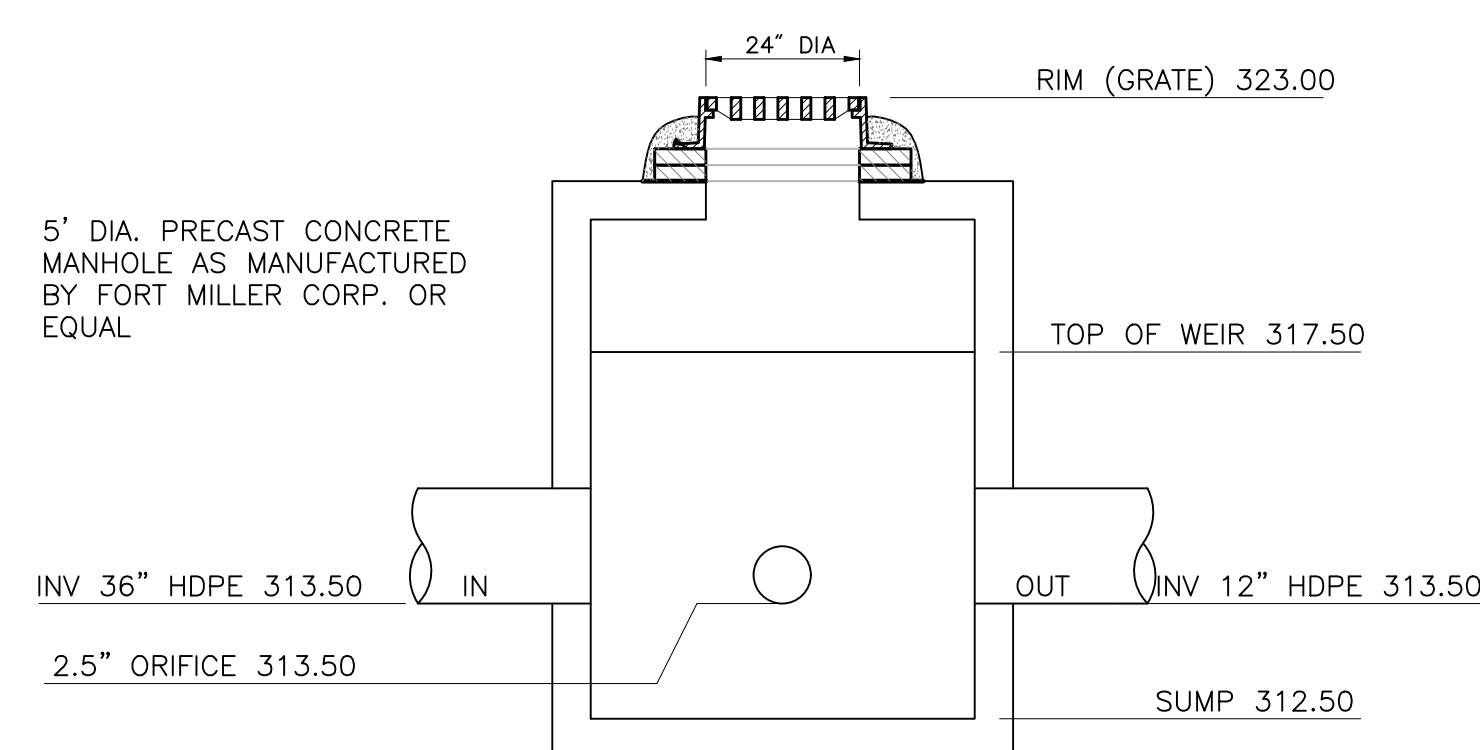


NOTES:

- WEIR CAN BE CONCRETE INSERTED PANEL IF GROOVES ARE CAST IN MANHOLE.
- WEIR CAN BE FORMED IN MANHOLE IF DOWELS ARE SET IN BOTH SIDES AND BOTTOM OF PRECAST MANHOLE.
- WEIR CAN BE STEEL PLATE ANCHORED TO PRECAST MANHOLE.
- BRICK AND MORTAR WEIR IS NOT ALLOWED.
- SUBMIT SHOP DRAWINGS TO ENGINEER FOR REVIEW.

OUTLET CONTROL STRUCTURE 1

SCALE: N.T.S.

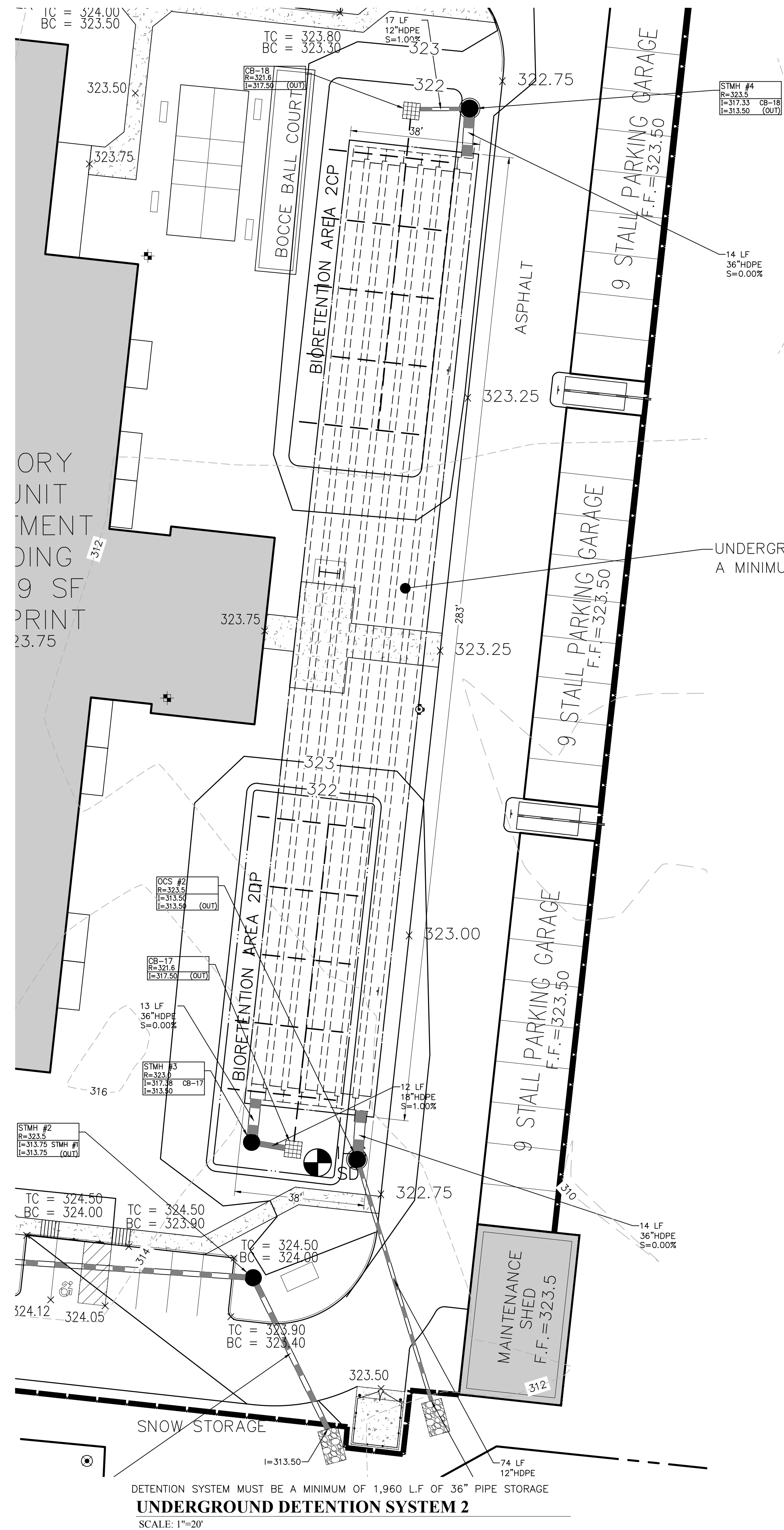


NOTES:

- WEIR CAN BE CONCRETE INSERTED PANEL IF GROOVES ARE CAST IN MANHOLE.
- WEIR CAN BE FORMED IN MANHOLE IF DOWELS ARE SET IN BOTH SIDES AND BOTTOM OF PRECAST MANHOLE.
- WEIR CAN BE STEEL PLATE ANCHORED TO PRECAST MANHOLE.
- BRICK AND MORTAR WEIR IS NOT ALLOWED.
- SUBMIT SHOP DRAWINGS TO ENGINEER FOR REVIEW.

OUTLET CONTROL STRUCTURE 2

SCALE: N.T.S.



UNDERGROUND DETENTION SYSTEM MUST BE A MINIMUM OF 1,960 LF OF 36" PIPE

The Summit at Forts Ferry

33 & 45 Forts Ferry Road
Colonie, New York

| No. | Revision | Date | App'd |
|-------------|----------------------|------------------|---------------|
| 1 | TOWN REVIEW COMMENTS | 9/21/2018 | PM |
| Designed by | | CG | PM |
| Issued for | | Site Plan Review | June 15, 2018 |

Not Approved for Construction

Site Details 7

Drawing Number

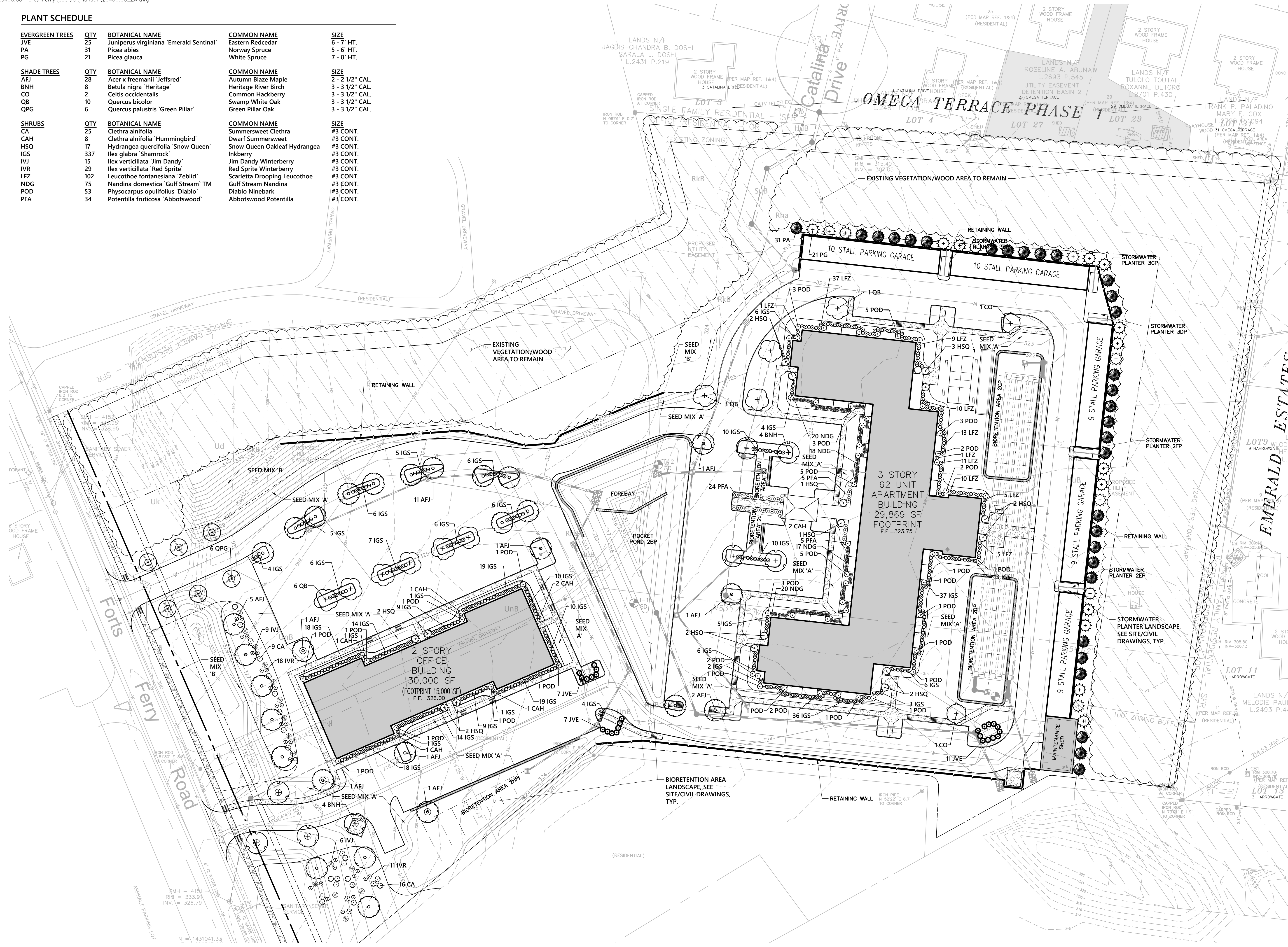
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Sheet 17 of 21

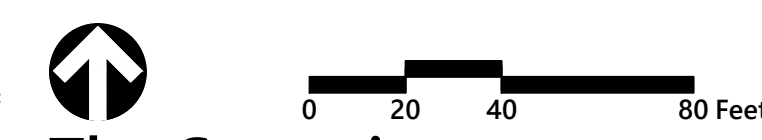
Project Number
29466.00

PLANT SCHEDULE

| EVERGREEN TREES | QTY | BOTANICAL NAME | COMMON NAME | SIZE |
|-----------------|-----|---|------------------------------|-----------------|
| JVE | 25 | Juniperus virginiana 'Emerald Sentinel' | Eastern Redcedar | 6 - 7 HT. |
| PA | 31 | Picea abies | Norway Spruce | 5 - 6' HT. |
| PG | 21 | Picea glauca | White Spruce | 7 - 8' HT. |
| SHADE TREES | QTY | BOTANICAL NAME | COMMON NAME | SIZE |
| AFJ | 28 | Acer x freemani 'Jeffers' | Autumn Blaze Maple | 2 - 2 1/2' CAL. |
| BNH | 8 | Betula nigra 'Heritage' | Heritage River Birch | 3 - 3 1/2' CAL. |
| CO | 2 | Celtis occidentalis | Common Hackberry | 3 - 3 1/2' CAL. |
| QB | 10 | Quercus bicolor | Swamp White Oak | 3 - 3 1/2' CAL. |
| QPG | 6 | Quercus palustris 'Green Pillar' | Green Pillar Oak | 3 - 3 1/2' CAL. |
| SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | SIZE |
| CA | 25 | Clethra alnifolia | Summersweet Clethra | #3 CONT. |
| CAH | 8 | Clethra alnifolia 'Hummingbird' | Dwarf Summersweet | #3 CONT. |
| HSQ | 17 | Hydrangea quercifolia 'Snow Queen' | Snow Queen Oakleaf Hydrangea | #3 CONT. |
| IGS | 337 | Ilex glabra 'Shamrock' | Inkberry | #3 CONT. |
| IVJ | 15 | Ilex verticillata 'Jim Dandy' | Jim Dandy Winterberry | #3 CONT. |
| IVR | 29 | Ilex verticillata 'Red Sprite' | Red Sprite Winterberry | #3 CONT. |
| LFZ | 102 | Leucothoe fontanesiana 'Zebld' | Scarletta Drooping Leucothoe | #3 CONT. |
| NDG | 75 | Nandina domestica 'Gulf Stream' TM | Gulf Stream Nandina | #3 CONT. |
| POD | 53 | Physocarpus opulifolius 'Diablo' | Diablo Ninebark | #3 CONT. |
| PFA | 34 | Potentilla fruticosa 'Abbotswood' | Abbotswood Potentilla | #3 CONT. |



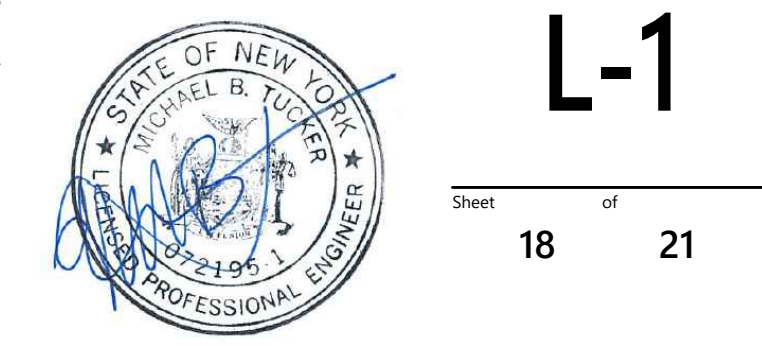
Engineering, Surveying & Landscape Architecture, PC
100 Great Oaks Boulevard
Suite 118
Albany, NY 12203
518.389.3600



The Summit at Forts Ferry
33 & 45 Forts Ferry Road
Colonie, New York

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Not Approved for Construction
Planting Plan



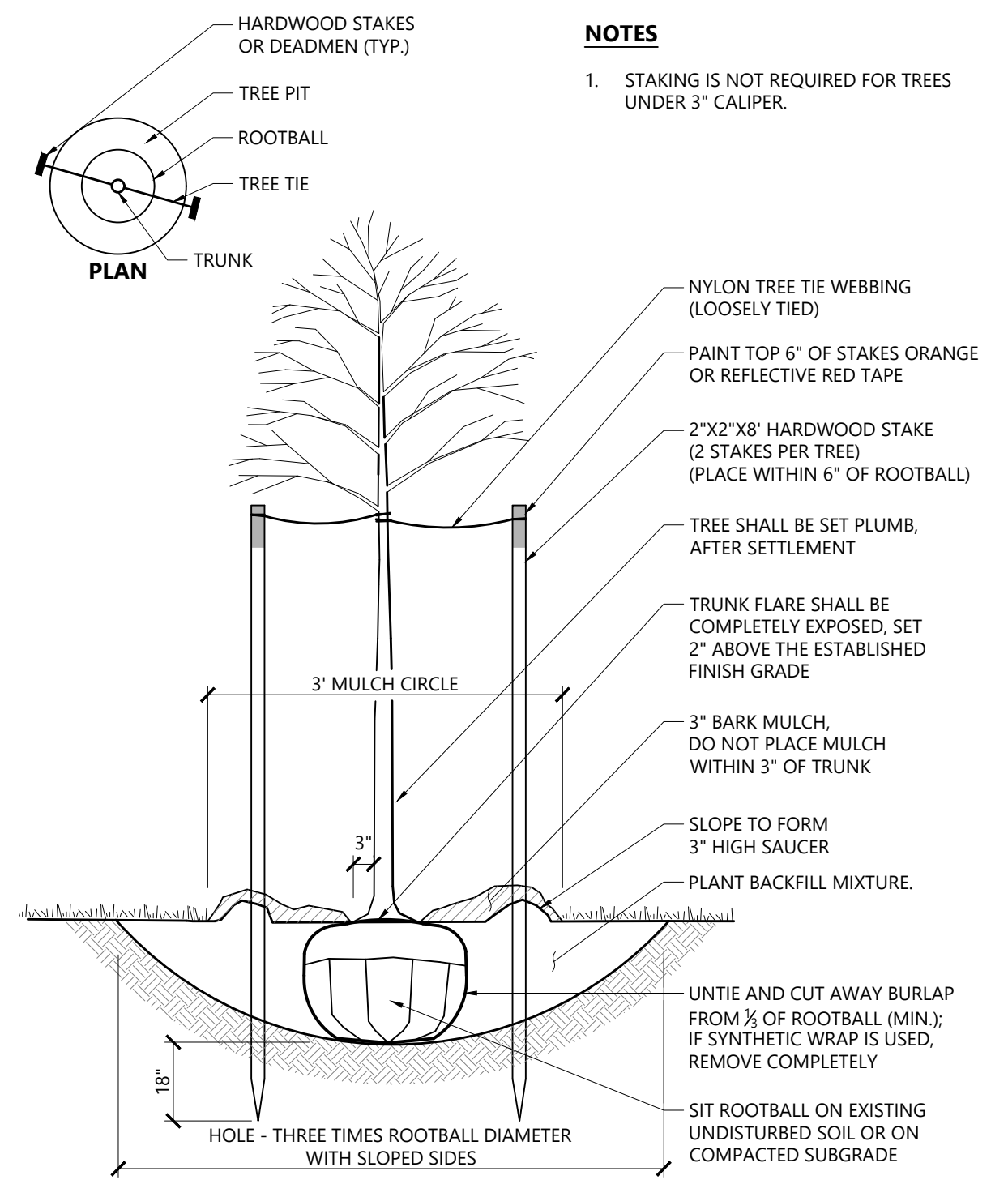
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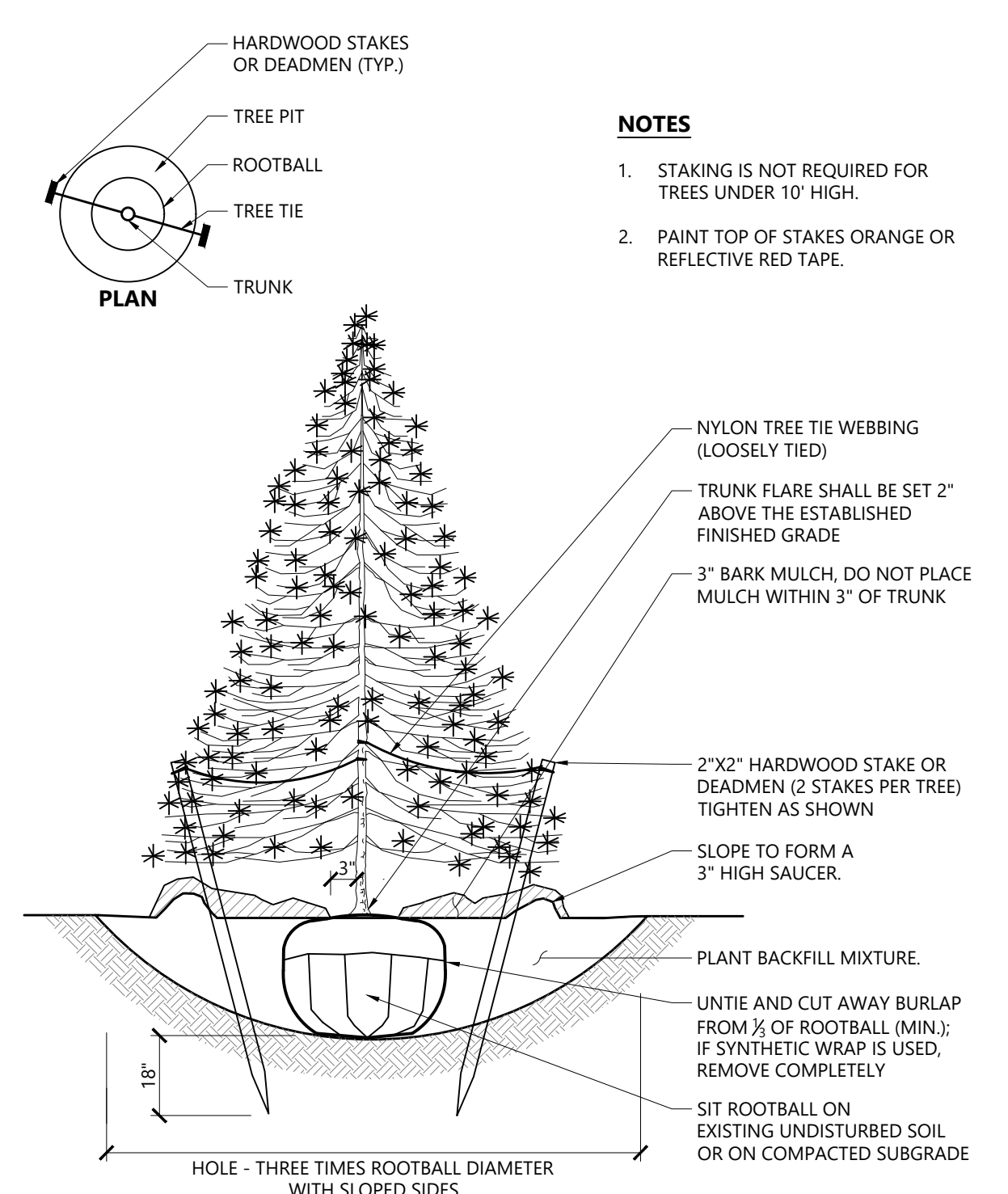
Project Number: 29466.00



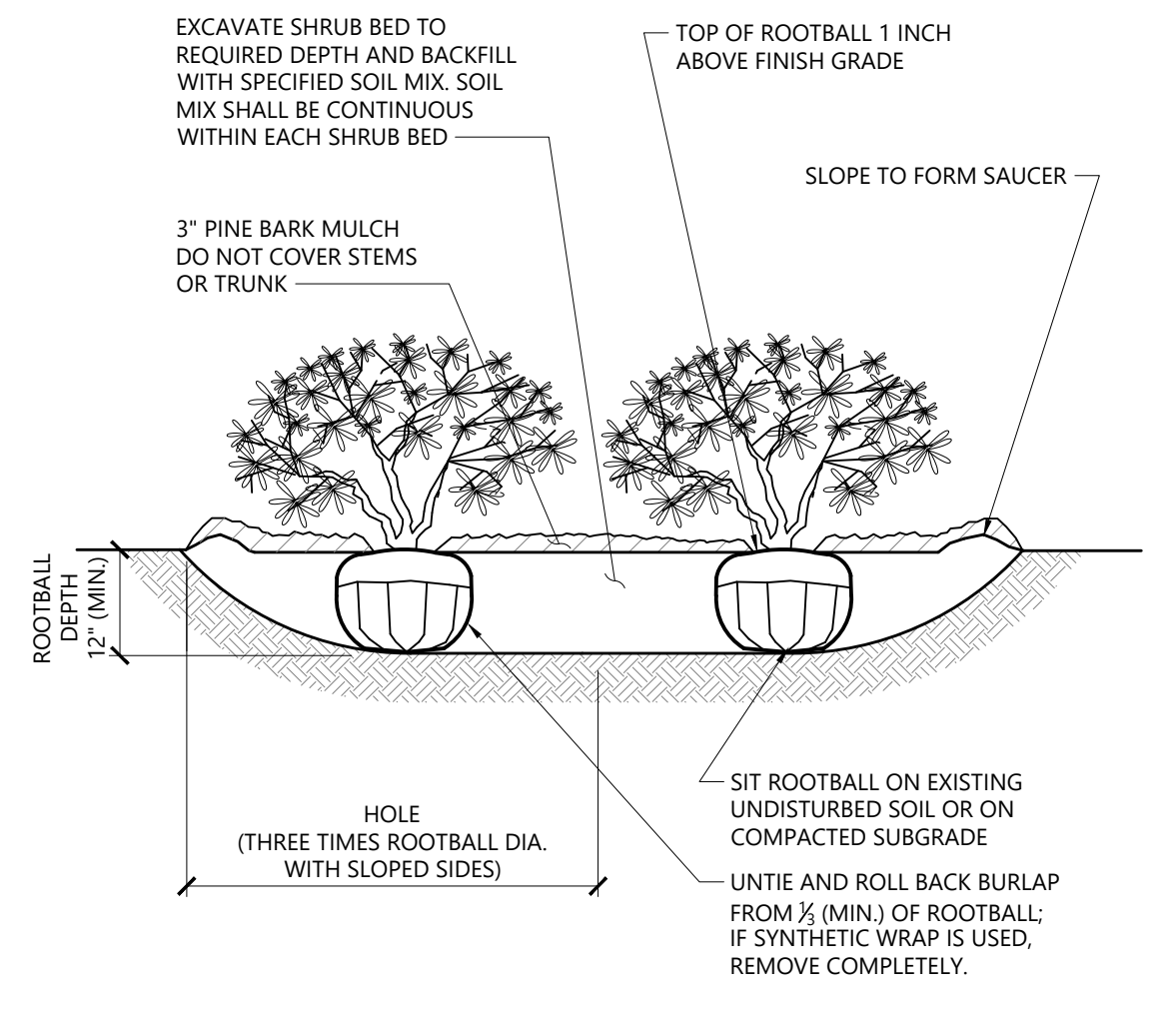
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Tree Planting (For Trees Under 4" Caliper) 1/16
N.T.S. Source: VHB LD_602



Evergreen Tree Planting 1/16
N.T.S. Source: VHB LD_604



Shrub Bed Planting 1/16
N.T.S. Source: VHB LD_601

Tree Protection

- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.
- NO UNAUTHORIZED TREE REMOVALS, UNLESS AS SPECIFIED ON CONTRACT DOCUMENTS, APPROVED BY LOCAL MUNICIPALITIES, AND LANDSCAPE ARCHITECT.

Edge of Woods Clearing

- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY EROSION CONTROL FENCE AND HAY BALE BARRIER. ERECT BARRIER AT EDGE OF THE EARTHWORK CUT LINE PRIOR TO TREE CLEARING. LAY OUT THIS LINE BY FIELD SURVEY.

Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL PLANTING BACKFILL SOILS SHALL RECEIVE CERTIFIED WEED-FREE FULLY COMPOSTED LEAF MOLD SOIL AMENDMENT AT A RATE OF 33% (1 PART COMPOST TO 2 PARTS PLANTING SOIL). SUBMIT COMPOST CERTIFICATION & PRODUCT DATA PRIOR TO ORDERING FOR APPROVAL.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE LATEST SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY AMERICAN HORT AND CONTRACT DOCUMENTS.

- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR TWO YEARS FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "TOPSOIL & SEED" SHALL RECEIVE MINIMUM 6" OF TOPSOIL AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE TOPSOIL AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.
- ALL SPECIFIED PLANT MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT AT BOTH THE NURSERY AND JOBSITE PRIOR TO INSTALLATION
- CAREFULLY DISRUPT CIRCLING ROOTS FROM ALL CONTAINER-GROWN PLANTS, EXCEPT PLUGS, VIA TOOL SCARIFICATION OR BY HAND.
- ALL B&B MATERIALS (I.E. BURLAP, TWINE, ETC) SHALL BE ALL BIO-DEGRADABLE MATERIALS.
- ALL PLANTINGS SHALL RECEIVE BIOSTIMULANT (MYCORRHIZAL FUNGI) AS PER MANUFACTURER'S RECOMMENDED RATES. SUBMIT PRODUCT DATA FOR APPROVAL PRIOR TO ORDERING.
- CONTRACTOR SHALL MAINTAIN (I.E. WEEDING, MULCHING, WATERING, CUT BEDS, REPLACEMENTS, ETC) ALL LANDSCAPE PLANTS AND AREAS WITHIN CONTRACT LIMITS DURING SPRING, SUMMER, AND FALL UNTIL EXPIRATION OF GUARANTEE PERIOD.

Turf Seeding Notes:

- SEED MIX 'A':** UNLESS OTHERWISE NOTED, ALL DISTURBED LANDSCAPE AREAS NOT BEING PLANTED, SHALL BE SEEDED WITH THE LATEST VERSION OF THE FOLLOWING SEED MIX (SEED MIX 'A'):
 - SS1000, AS PRODUCED BY:
 - SEED SUPER STORE 33.27% BULLSEYE TURF TYPE TALL FESCUE
 - PO BOX 812 33.15% Cochise IV TURF TYPE TALL FESCUE
 - BUFFALO, NY 14225 33.08% LS1200 TURF TYPE TALL FESCUE
 - 716-531-8788 00.50% INERT MATTER
 - www.seedsuperstore.com 00.00% WEED SEED
 - OR, APPROVED EQUAL SEEDING RATE SHALL BE 8 lbs. PER 1,000.00 SQ. FT.
- SEED MIX 'B':** AS NOTED AND FOR AREAS BETWEEN PROPOSED PATRIOTS ROAD EDGE TREATMENT AND PROPOSED 5' WIDE SIDEWALK (AREA OF PROPOSED 4' HT. FENCE), SHALL BE SEEDED WITH THE LATEST VERSION OF THE FOLLOWING SEED MIX (SEED MIX 'B'):
 - SS8000 'NO-MOW HARD FESCUE BLEND', AS PRODUCED BY:
 - SEED SUPER STORE 33.24% SPARTAN II HARD FESCUE
 - PO BOX 812 33.00% BEACON HARD FESCUE
 - BUFFALO, NY 14225 32.78% NANOOK HARD FESCUE
 - 716-531-8788 00.94% INERT MATTER
 - www.seedsuperstore.com 00.00% WEED SEED
 - OR, APPROVED EQUAL SEEDING RATE SHALL BE 5 lbs. PER 1,000.00 SQ. FT.
- ALL SEEDING SHALL BE HYDRO-SEEDED WITH THE FOLLOWING ENGINEERED WOOD FIBER HYDROMULCH AS PER MANUFACTURER'S SPECIFICATIONS. SUBMIT SAMPLE & PRODUCT DATA FOR APPROVAL PRIOR TO ORDERING.
 - FLEXTERRA HP-FGM - MANUFACTURED BY:
 - PROFILE PRODUCTS
 - 750 W. LAKE COOK RD
 - SUITE 440
 - BUFFALO GROVE, IL 60089
 - 1-800-207-6457
 - OR, APPROVED EQUAL
- ALTERNATE BID #1** - UNLESS OTHERWISE NOTED, ALL DISTURBED LANDSCAPE AREAS NOT BEING PLANTED OR MULCHED, SHALL BE SODED WITH A TURF-TYPE TALL FESCUE BLEND SOD PRODUCT.
- CONTRACTOR SHALL SUBMIT SOURCE, SAMPLE, AND CERTIFIED SEED ANALYSIS FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO ORDERING.

Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE TWO YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE TWO YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.



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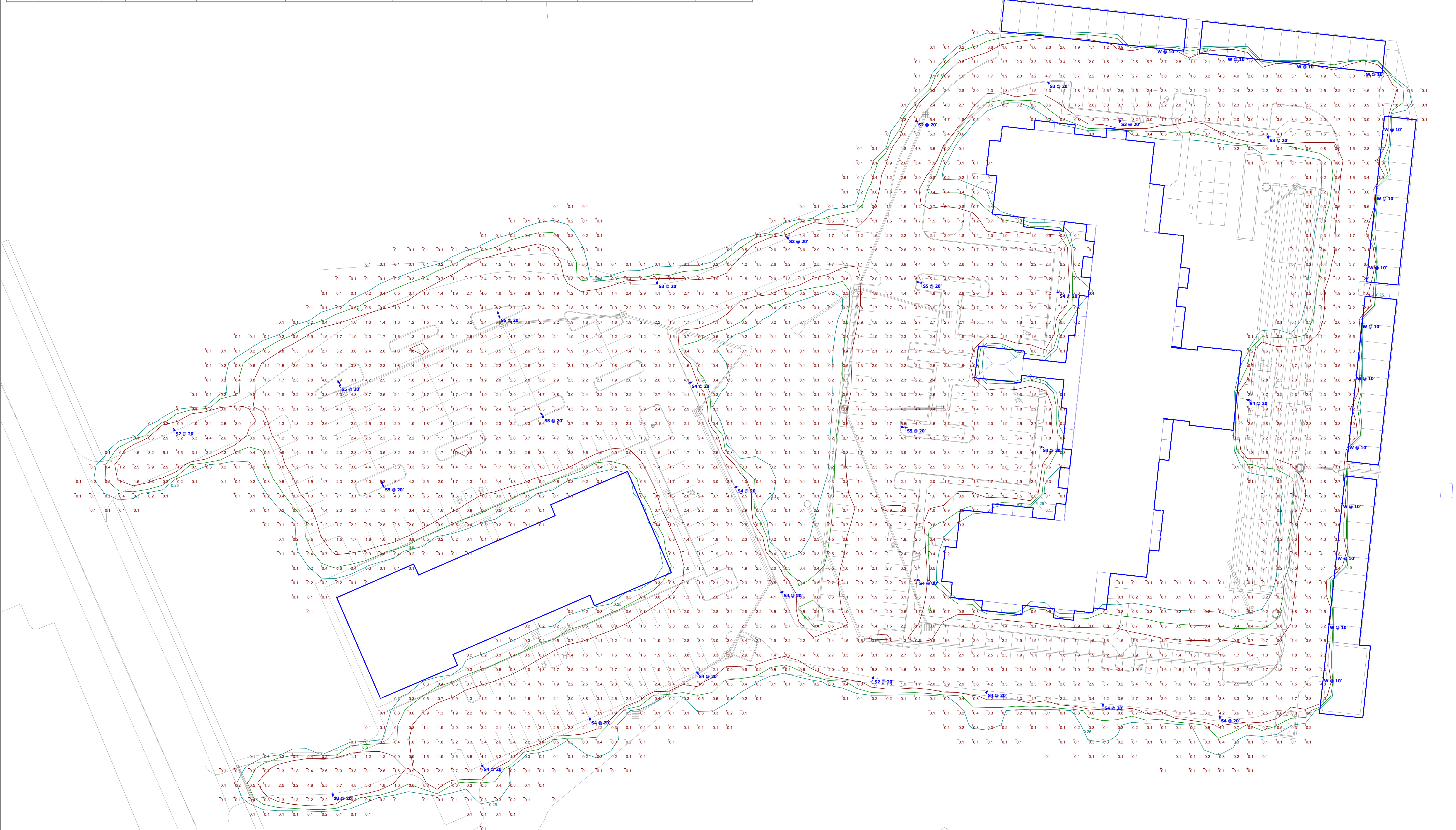
| No. | Revision | Date | Apprd. |
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| 1. | TOWN REVIEW COMMENTS | 9/21/2018 | PM |
| Designed by | CG | Checked by | PM |
| Issued for | | Date | |
| Site Plan Review | | | June 15, 2018 |

Not Approved for Construction
Drawing Title
Planting Notes & Details
Drawing Number



L-2
Sheet of
19 21

| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | Filename | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|---|-----------------------|--|-----------|--------------|---------------------------|-----------------|-------------------|---------|
| | S2 | 4 | Hubbell Lighting Inc | VP-S-48L-110-4K7-2-BC | SMALL VIPER - TYPE 2 OPTICAL PATTERN - BACK LIGHT CONTROL - SINGLE | LED 4000K | 1 | VP-S-48L-110-4K7-2-BC.ies | 9262 | 0.9 | 109.78 |
| | S3 | 5 | Hubbell Lighting Inc | VP-S-48L-110-4K7-3-BC | SMALL VIPER - TYPE 3 OPTICAL PATTERN - BACK LIGHT CONTROL - SINGLE | LED 4000K | 1 | VP-S-48L-110-4K7-3-BC.ies | 8435 | 0.9 | 109.78 |
| | S4 | 13 | Hubbell Lighting Inc, dba Beacon Products | VP-S-48L-110-4K7-4 | SMALL VIPER - TYPE 4 OPTICAL PATTERN - SINGLE | LED 4000K | 1 | VP-S-48L-110-4K7-4.ies | 12070 | 0.9 | 108 |
| | S5 | 6 | Hubbell Lighting Inc, dba Beacon Products | VP-S-48L-110-4K7-3 | SMALL VIPER - TYPE 3 OPTICAL PATTERN - DOUBLE | LED 4000K | 1 | VP-S-48L-110-4K7-3.ies | 12275 | 0.9 | 216 |
| | W | 14 | HUBBELL OUTDOOR | LN2-18L-4K-070-4 | LitePak LN2 - WALL MOUNT - TYPE 4 OPTICAL PATTERN | LED 4000K | 1 | LN2-18L-4K-070-4.IES | 4269 | 0.9 | 43.227 |



Plan View
Scale - 1" = 30'



Engineering, Surveying &
Landscape Architecture, PC
100 Great Oaks Boulevard
Suite 118
Albany, NY 12203
518.389.3600

PREVIOUS PHASES MUST BE STABILIZED PRIOR TO INITIATING THE NEXT PHASE.

UNSTABILIZED AREA SHALL NEVER EXCEED 5 ACRES AT ANY TIME.

REFER TO EROSION & SEDIMENT CONTROL PLAN & SWPPP FOR DETAILED SEQUENCE OF CONSTRUCTION.

ANY CHANGES TO THIS PLAN MUST BE DOCUMENTED PRIOR TO IMPLEMENTATION.

**CONSTRUCTION PHASE 3
3.3 ACRES**

CONSTRUCT OFFICE UTILITIES & BUILDING
STABILIZE ENTIRE AREA (GRASS AND/OR SUBBASE)

**CONSTRUCTION PHASE 2
4.3 ACRES**

CLEAR & GRUB AREA
CONSTRUCT SEDIMENT TRAPS USING BERM OR RETAINING WALL
CONSTRUCT UTILITIES & MAIN BUILDING
STABILIZE ENTIRE AREA (GRASS AND/OR SUBBASE)

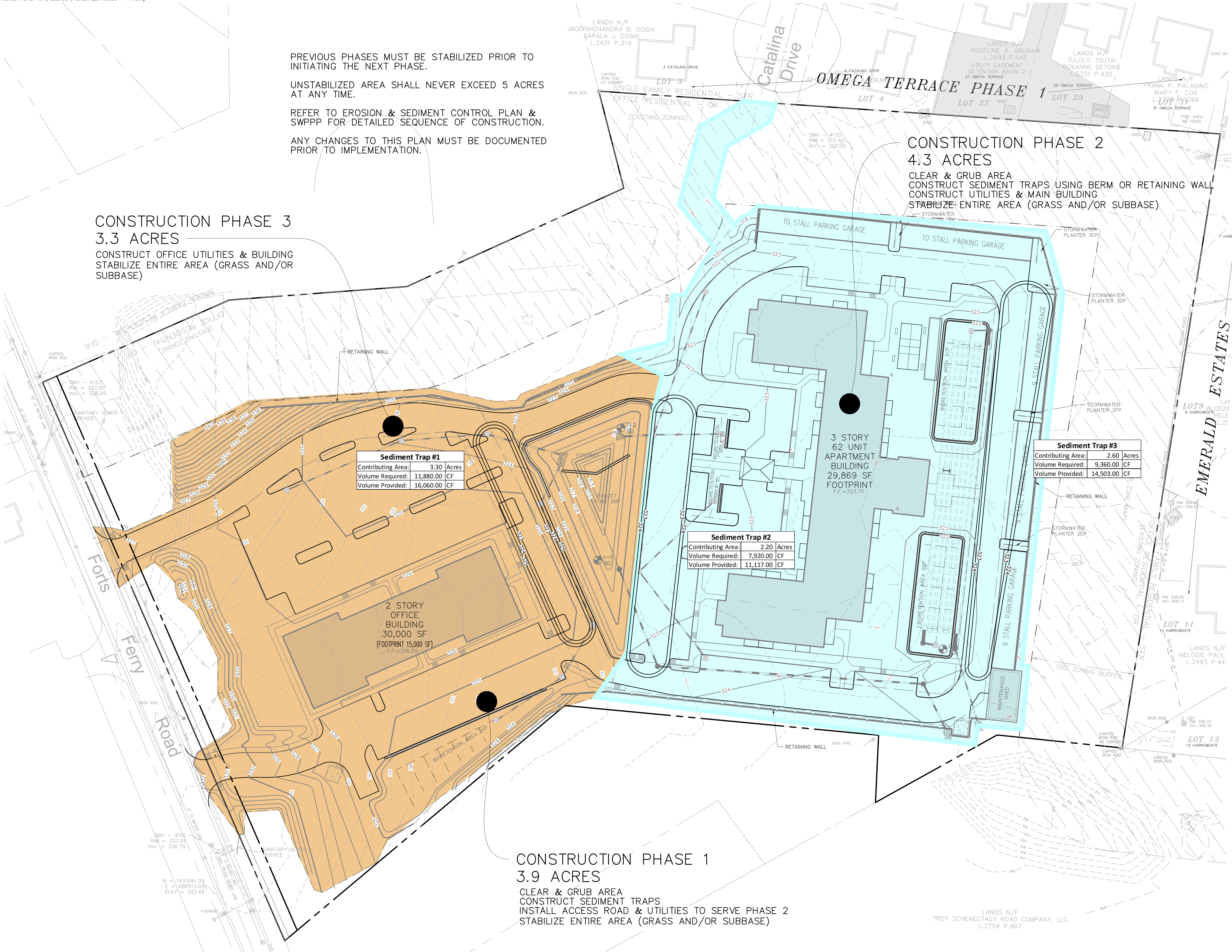
**CONSTRUCTION PHASE 1
3.9 ACRES**

CLEAR & GRUB AREA
CONSTRUCT SEDIMENT TRAPS
INSTALL ACCESS ROAD & UTILITIES TO SERVE PHASE 2
STABILIZE ENTIRE AREA (GRASS AND/OR SUBBASE)

| Sediment Trap #1 | |
|--------------------|--------------|
| Contributing Area: | 3.30 Acres |
| Volume Required: | 11,880.00 CF |
| Volume Provided: | 16,060.00 CF |

| Sediment Trap #2 | |
|--------------------|--------------|
| Contributing Area: | 2.20 Acres |
| Volume Required: | 7,920.00 CF |
| Volume Provided: | 11,117.00 CF |

| Sediment Trap #3 | |
|--------------------|--------------|
| Contributing Area: | 2.60 Acres |
| Volume Required: | 9,360.00 CF |
| Volume Provided: | 14,503.00 CF |



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| No. | Revision | Date | App'd. |
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1. TOWN REVIEW COMMENTS 9/21/2018 PM
 Designed by CG Checked by PM
 Issued for Site Plan Review Date June 15, 2018

Not Approved for Construction
 Drawing Title: **Phasing Plan**



PH-1