

- TOWN OF COLONIE STANDARD STORMWATER DEPARTMENT NOTES:**
- ALL EROSION AND SEDIMENT CONTROLS WILL HAVE TO BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 - ANY TRACKED SOILS OUT ONTO PUBLIC ROADS WILL BE SWEPT UP IMMEDIATELY.
 - A CONCRETE WASHOUT MUST BE DUG BEFORE ANY POURING IS TO TAKE PLACE.
 - ANY PUMPING THAT IS DONE ON SITE MUST BE RUN THROUGH A FILTER AND/OR STONE.
 - PRIOR TO ISSUANCE OF A BUILDING PERMIT A STONE CONSTRUCTION ENTRANCE SILL TIE MUST BE INSTALLED IT SHALL BE INSTALLED AT THE REQUEST OF THIS DEPARTMENT AND DUG INTO THE GROUND A MINIMUM OF SIX INCHES.
 - A FINAL GRADING INSPECTION WILL HAVE TO BE CONDUCTED BEFORE C.C. OR C.O. IS ISSUED.
 - IF A C.O. IS NEEDED DURING NON-GROWING MONTHS A GRADING ESPRESSO WILL BE TAKEN OF \$1000.00 DOLLARS FOR OUTSTANDING SITE WORK TO BE COMPLETED.
 - ANY AND ALL EXPOSED SOILS MUST BE STABILIZED BEFORE C.C. OR C.O. IS ISSUED.
 - A STORM WATER MAINTENANCE AGREEMENT MAY NEED TO BE FILLED OUT WITH THE NEW PROPERTY OWNER PRIOR TO C.O. WITH A CHECK FOR \$65 DOLLARS FOR THE ALBANY COUNTY CLERK'S FILING FEE.
- NOTES:**
1. BASE MAPPING PREPARED BY ABD ENGINEERS, LLP FROM A JULY 2017 FIELD SURVEY.
 2. THE PLANS SHOW SOME KNOWN STRUCTURE, ABOVEGROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA. THE EXACT LOCATION OF THESE STRUCTURES AND UTILITIES IS NOT SHOWN IN PARTICULAR, WHICH CONTRACTOR IS TO MARKED THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPE LINES.
 3. SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN AND THERE SHALL BE ANY WORK. 48 HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL U.P.O. (1-800-962-7962), TOLL FREE.
 4. NO FEDERAL WETLANDS ON SITE VERIFIED BY WILLIAM SMART ENGINEERING, PLLC FROM A NOV. 2017 FIELD WALK.
 5. THERE ARE NO SMOKE STACKS, BORROW PITS, OVERHEAD UTILITY LINES, JUNKYARDS, REFUSE AREAS OR BILBOARDS ON-SITE.
 6. THERE ARE NO SIGNAGES OF SMOKE, NOISE, DOORS OR OTHER EMISSIONS AND SIGHTS OF SMOKE, NOISE, DOORS OR OTHER EMISSIONS.
 7. ALL ELEVATIONS SHOWN HEREON ARE RELATED TO NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
 8. THE SITE LIES WITHIN THE LATHAM WATER DISTRICT, NORTH COLONIE SCHOOL DISTRICT & THE WATKINSVILLE SAND, GRASSLANDS AND VARIOUS FEET TO OVER A FEET ROCK IS OVER 8 FEET PER ALBANY COUNTY SOIL CONSERVATION SERVICE AND ON SITE TEST PITS BY ABD ENGINEERS, LLP.
 10. THIS SITE LIES WITHIN THE ABA (AIRPORT BUSINESS AREA).
 11. BUILDING SHOULD BE DESIGNED WITH ACCESSABILITY MEETING THE REQUIREMENTS OF THE AMERICAN ASSOCIATION OF PHYSICALLY HANDICAPPED PEOPLE (AAHP) AND THE 2015 VERSION OF THE INTERNATIONAL FIRE CODE. SMOKE AND HEAT REMOVAL SHOULD ALSO BE ADDRESSED.
 12. A FIRE SPRINKLER SYSTEM WILL BE REQUIRED AND ALSO MUST MEET CHAPTER 32 REQUIREMENTS IF APPLICABLE. SPRINKLER CONNECTION TO BE LOCATED ON NORTHEAST SIDE OF BUILDING. ARCHITECT TO PROVIDE SMOKE AND SMOKE EXHAUST SYSTEMS.
 13. WATER MAINS HOBBIANTS AND SERVICES MUST BE INSTALLED IN ACCORDANCE WITH LATHAM WATER DISTRICT STANDARDS FOR WATER DISTRIBUTION SYSTEMS RESTORATION REQUIREMENTS LISTED IN TABLE 5.3 OF THE NYS STORMWATER DESIGN MANUAL.
 14. ALL DISTURBED AREAS TO BE RESTORED IN ACCORDANCE WITH THE SOIL RESTORATION REQUIREMENTS LISTED IN TABLE 5.3 OF THE NYS STORMWATER DESIGN MANUAL.
 15. STORMWATER MANAGEMENT AREAS SHOULD NOT BE USED FOR SNOW STORAGE.
 16. ANY SLOPES SHALL BE SLIGHTLY FLATTER THAN 1 V:3 H.

TOWN OF COLONIE STANDARD NOTES:

1. LOCAL LAWS, RULES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO THE STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQRA), FRESHWATER WETLANDS REGULATIONS, THE TOWN GRADING LAW, AND THE TOWN FLOOD PLANS SHALL BE ADHERED TO.
2. THE APPLICANT SHALL BEAR THE SOLE RESPONSIBILITY FOR ENSURING THAT ALL APPROVED PLANS, SPECIFICATIONS AND STANDARDS.
3. NO CONTRACTOR OR SUBCONTRACTOR SHALL BE ISSUED ANY PERMITS OR APPROVED PLANS, SPECIFICATIONS AND STANDARDS.
4. THE APPLICANT SHALL BE RESPONSIBLE FOR KEEPING EXISTING PUBLIC HIGHWAYS OPEN TO TRAFFIC AT ALL TIMES.
5. ALL SITE LIGHTING SHALL BE DESIGNED AND INSTALLED SO AS NOT TO ILLUMINATE ADJACENT PROPERTIES OR HIGHWAYS.
6. ALL PLANT MATERIALS INSTALLED PURSUANT TO THIS SITE DEVELOPMENT PLAN SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE ACCEPTED INDUSTRY PRACTICE.
7. NO PORTION OF THIS SITE SHALL BE USED FOR STORAGE OR DISPLAY OF ANY EQUIPMENT OR MATERIALS OF ANY KIND.
8. ALL REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL.

OWNER/APPLICANT:
CRISAFULLI ASSOCIATES, LLC
399 ALBANY SHAKER ROAD
LUDLOVILLE, NY 12211
TAX MAP # 18.00-4-3.2

TOWN OF COLONIE PLANNING BOARD

DEED REFERENCE:
DEED TO 348 OLD NISKAYUNA ROAD LLC FROM JAMES A. FAVETTE, DATED JANUARY 11, 2016, AND RECORDED IN THE ALBANY COUNTY CLERK'S OFFICE ON MARCH 15, 2016 IN INSTRUMENT #R2016-5978.

MAP REFERENCE:
"BOUNDARY SURVEY 6.3334 ACRE PARCEL, LANDS NOW OR FORMERLY OF ADA A. HELLMING", PREPARED BY G. ALAN CROOKSHANK, DATED FEBRUARY 11, 1980.

SOIL DATA: PERFORMED BY ABD ENGINEERS, LLP AND WITNESSED BY TOWN OF COLONIE & ALBANY COUNTY DOH ON 8/9/17.

TEST PIT #1:
0-16" TOPSOIL
16-60" COARSE BROWN SAND
MOTTLING @ 25"
WATER STEADY @ 60"

TEST PIT #2:
0-16" TOPSOIL
16-60" COARSE BROWN SAND
NO GROUNDWATER

PERC TEST #1: 1" IN 4 MINUTES @ 24" DEPTH
PERC TEST #2: 1" IN 2 MINUTES @ 30" DEPTH
PERC TEST #3: 1" IN 4 MINUTES @ 24" DEPTH

TEST PIT #3 (5/2/18):
0-16" TOPSOIL
16-60" COARSE BROWN SAND
WATER STEADY @ 48"

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft

NO.	REVISION	BY	DATE
8.	OWNER CHANGES	TAG	1/28/19
7.	TOWN & TDE COMMENTS	DK	10/29/18
6.	TDE COMMENTS	TAG	9/11/18
5.	TOWN & TDE COMMENTS	TAG	8/20/18
4.	OWNER CHANGES	DK	7/31/18
3.	TDE COMMENTS	TAG	5/14/18
2.	ACDOH COMMENTS	TAG	4/5/18
1.	TOWN & TDE COMMENTS	DK	3/16/18

ALTERATION OF THIS DOCUMENT EXCEPT AS INDICATED IS UNLAWFUL. ENGINEER IS LIABLE.

LUIG A. PALESCHI, P.E.
N.Y.S. LICENSE NO. 94678

PRELIMINARY/FINAL GRADING & UTILITIES PLAN OFFICE/WAREHOUSE
348 OLD NISKAYUNA ROAD
STATE OF NEW YORK COUNTY OF ALBANY

ABD ENGINEERS, LLP
411 Union Street
Schenectady, NY 12305
518-377-4031 Fax 518-377-4079
www.abdeng.com

DATE: AUGUST 21, 2017 SCALE: 1" = 40' DWG: 4841A-533 SHEET 2 OF 5

THE OWNER AND CONTRACTOR SHALL COMPLY WITH THE BASIC STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT AND AS A MEASURE TO PREVENT THE FOLLOWING EROSION AND SEDIMENT CONTROL MEASURES:

- CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLANS OR DETAILS AND AS NEEDED DURING THE GENERAL COURSE OF WORK.
- SOIL EROSION WILL OCCUR AFTER EVERY RAINFALL UNTIL TOP SOIL IS ESTABLISHED. EVERY RAINFALL FAILURE TO REPAIR MINOR EROSION WILL RESULT IN MAJOR EROSION AND POSSIBLY PAVEMENT AND STRUCTURE FAILURE. EROSION CONTROL MEASURES SHALL BE IN PLACE.
- TEMPORARY INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE PANS AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ENTERS AND DEPARTS FROM PAVED STREETS. ALL PUBLIC STREETS TO BE INSPECTED AND MAINTAINED CLEAR OF SOIL ACCUMULATION.
- EVALUATION WORK CARRIED OUT DURING PERIODS OF INCLEMENT WEATHER SHALL REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS MAY BE NECESSARY BASED ON CONDITIONS.
- ADDITIONAL EROSION CONTROL METHODS INCLUDING SOIL STABILIZATION MATS, PLACEMENT OF STONE, PLACEMENT OF SOIL MAY BE REQUIRED DUE TO CLIMATIC CONDITIONS (WINDS, HAIL, ETC).
- STABILIZATION OF DISTURBANCE AREAS TO BE SEEDING IN ACCORDANCE AND APPLICATION OF SUBSTRATE WITHIN ONE MONTH AFTER UTILITIES ARE INSTALLED.
- VEGETATIVE STABILIZATION OF DISTURBED AREAS TO BE SEEDING INCLUDING ROW AND EXPOSURES WITHIN TWO WEEKS OF FINAL GRADING.
- PLANS SHOW TEMPORARY SOIL EROSION AND STABILIZATION MEASURES WHICH SHALL BE MAINTAINED UNTIL ALL AREAS ARE STABILIZED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SEED AND MULCH (OR HYPOXER) AND TO PROVIDE AN ADEQUATE WATER SOURCE AND HOSES FOR TOPSOIL FROM THE SITE. THE SEEDING MAY NOT ESTABLISH TRIPS OR MAY BE RESPONSIBILITY FOR ESTABLISHING THE LAWN BY PROPER WATER AND FERTILIZING.

TOWN OF COLONIE STANDARD STORMWATER DEPARTMENT NOTES:

- ALL EROSION AND SEDIMENT CONTROLS WILL HAVE TO BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- ANY TRACKED SOILS OUT ONTO PUBLIC ROADS WILL BE SWEEP UP IMMEDIATELY.
- A CONCRETE WASHOUT MUST BE DUG BEFORE ANY POURING IS TO TAKE PLACE.
- ANY PUMPING THAT IS DONE ON SITE MUST BE RUN THROUGH A FILTER AND/OR STONE.
- PRIOR TO ISSUANCE OF A BUILDING PERMIT A STONE CONSTRUCTION ENTRANCE WILL HAVE TO BE INSTALLED AND INSPECTED BY THIS OFFICE.
- SILT FENCE IS REQUIRED. IT SHALL BE INSTALLED AT THE REQUEST OF THIS DEPARTMENT AND SOILS INTO THE GROUND A MINIMUM OF SIX INCHES.
- A FINAL GRADING INSPECTION WILL HAVE TO BE CONDUCTED BEFORE C.C. OR C.O. IS ISSUED.
- IF A C.O. IS NEEDED DURING NON-GROWING MONTHS A GRADING ESCROW WILL BE TAKEN OF \$1000.00 DOLLARS FOR OUTSTANDING SITE WORK TO BE COMPLETED.
- ANY AND ALL EXPOSED SOILS MUST BE STABILIZED BEFORE C.C. OR C.O. IS ISSUED.
- A STORM WATER MAINTENANCE AGREEMENT MAY NEED TO BE FILED OUT WITH THE NEW PROPERTY OWNER PRIOR TO C.O. WITH A CHECK FOR \$85 DOLLARS FOR THE ALBANY COUNTY CLEANS FLING FEE.

NOTES:

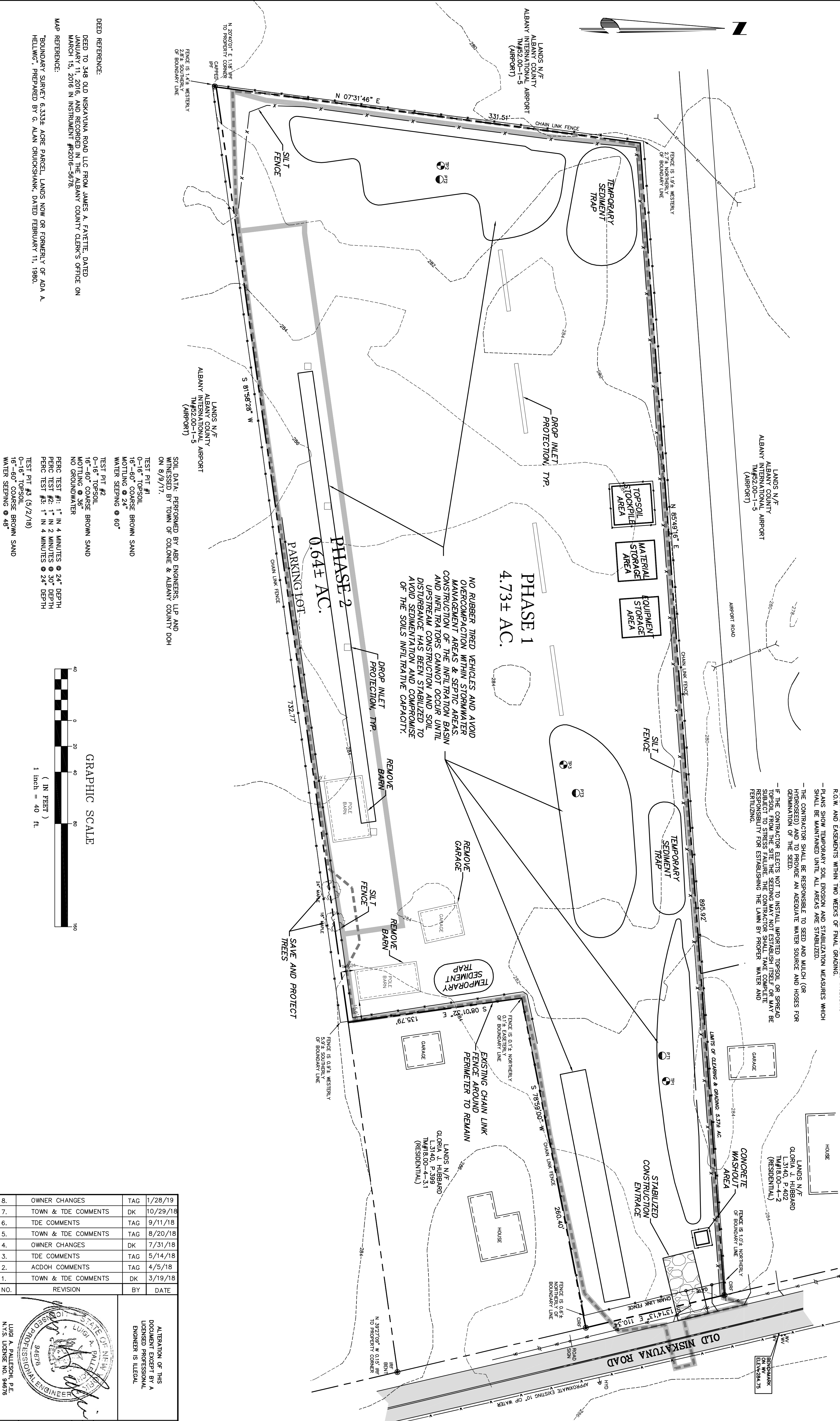
1. BASE MAPPING PREPARED BY ABD ENGINEERS, LLP FROM A JULY 2017 FIELD SURVEY.
2. THE PLANS SHOW SOME KNOWN STRUCTURE, ABOVEGROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF ALL UTILITIES IN PARTICULAR. THE CONTRACTOR IS TO MARK THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPE LINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE ARE MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN AND THERE SHALL BE ANY WORK. 48 HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL U.P.O. (1-800-962-7962), TOLL FREE.
3. NO FEDERAL WETLANDS ON SITE VERIFIED BY WILLIAM SMART ENGINEERING, PLLC FROM A NOV. 2017 FIELD WALK.
4. THERE ARE NO SMOKE STACKS, BORROW PITS, OVERHEAD UTILITY LINES, JUNKYARDS, REFUSE AREAS OR BULLDOZERS ON-SITE.
5. DUSTBARRS AND SLOTTED SOCKS, NOSES, DOORS OR OTHER MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DESIGN MANUAL.
6. THERE ARE NO HISTORIC OR ARCHAEOLOGICAL SITES ON THIS PROJECT AS CONFIRMED BY COLUMBIA HERITAGE FROM A NOV. 2017 STUDY.
7. ALL ELEVATIONS SHOWN HEREON ARE RELATED TO NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
8. THE SITE LIES WITHIN THE LATHAM WATER DISTRICT, NORTH COLONIE SCHOOL DISTRICT & THE VERDOLPH FIRE DISTRICT. THE SAND, GRASSLANDS, VARIES FEET FEET TO OVER A FEET ROCK IS OVER 8 FEET PER ALBANY COUNTY SOIL CONSERVATION SERVICE AND ON SITE TEST PITS BY ABO ENGINEERS & SURVEYORS.
9. THIS SITE LIES WITHIN THE ABA (AIRPORT BUSINESS AREA).
10. BUILDING SHOULD BE DESIGNED WITH ACCESSABILITY MEETING THE REQUIREMENTS OF CHAPTER 32, NATIONAL FIELD COMBUSTIBLE STORAGE AND HEAT REMOVAL REQUIREMENTS. THE CODE, SMOKE AND HEAT REMOVAL REQUIREMENTS SHALL ALSO BE ADDRESSED.
11. A FIRE SPRINKLER SYSTEM WILL BE REQUIRED AND ALSO MUST MEET CHAPTER 32 REQUIREMENTS IF APPLICABLE. SPRINKLER CONNECTION TO CORNER EXACT LOCATION WITH FIRE DEPT.
12. WHEN ANY WATER DISTRICT STANDARDS OR WATER DISTRIBUTION SYSTEM DESIGN MANUAL.
13. ALL DISTURBED AREAS TO BE RESTORED IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DESIGN MANUAL.
14. RESTORATION REQUIREMENTS LISTED IN TABLE 5.3 OF THE NYS STORMWATER DESIGN MANUAL.
15. STORMWATER MANAGEMENT AREAS SHOULD NOT BE USED FOR SNOW STORAGE.
16. ANY SLOPES SHALL BE SLIGHTLY FLATTER THAN 1V:3H.

TOWN OF COLONIE STANDARD NOTES:

1. THE APPLICANT SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO THE NYS EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS, THE TOWN GRADING LAW, AND THE TOWN FLOOD PLANS MANAGEMENT.
2. THE APPLICANT SHALL BEAR THE SOLE RESPONSIBILITY FOR ENSURING THAT ALL IMPROVEMENTS ARE SATISFACTORILY COMPLETED AND THE PLANNING AND APPROVED PLANS, SPECIFICATIONS AND STANDARDS.
3. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS ARE SATISFACTORILY COMPLETED AND THE PLANNING AND APPROVED PLANS, SPECIFICATIONS AND STANDARDS.
4. THE APPLICANT SHALL BE RESPONSIBLE FOR KEEPING EXISTING PUBLIC HIGHWAYS AND ADJACENT LANDS FREE OF DEBRIS, SOIL, AND OTHER MATTER WHICH MAY ACCUMULATE DUE TO CONSTRUCTION RELATED TO THE SITE.
5. LUMINAITE ADVANCED PROPRIETIES OR EQUIVALENT SHALL BE MAINTAINED IN ALL PLANT MATERIALS INSTALLED PURSUANT TO THIS SITE DEVELOPMENT PLAN (ANSI Z601-1989) OF THE AMERICAN ASSOCIATION OF NURSERY STOCK OR EQUIVALENT ACCORDANCE WITH THE ACCEPTED INDUSTRY PRACTICE.
6. NO PORTION OF THIS SITE SHALL BE USED FOR STORAGE OR DISPLAY OF ANY PRODUCT OR MATERIAL, OR FOR PARKING OF ANY VEHICLES OR FOR THE STORAGE OF FUEL OR FLAMMABLE LIQUIDS OR GASES OR FOR THE STORAGE OF MATERIALS OR EQUIPMENT WHICH ARE HAZARDOUS TO THE ENVIRONMENT OR WHICH MAY BE A SOURCE OF POLLUTION.
7. ALL REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL.

DEMOLITION NOTES:

1. ALL EXISTING STRUCTURES WITHIN THE PROJECT LIMITS TO BE REMOVED EXCEPT AS NOTED, CELLARS, WELLS AND OTHER EXISTING SUBSURFACE FEATURES TO BE REMOVED AND FILLED WITH CLEAN SOILS.
2. ALL TREES TO BE CLEARED WITHIN PROJECT LIMITS EXCEPT WHEN NOTED.
3. DISTURBED AREAS TO BE TO-SOILED & SEEDDED.
4. EXISTING WATER & SEWER SERVICE (IF SUPPLIED TO PROJECT SITE) TO BE SHUT OFF, CUT AND CAPPED AT MAIN PER TOWN OF COLONIE REQUIREMENTS. EXISTING GAS AND ELECTRIC SERVICES TO BE DISCONTINUED PER UTILITY COMPANY REQUIREMENTS.



NO RUBBER Tired VEHICLES AND AVOID OVERCOMPACTION WITHIN STORMWATER MANAGEMENT AREAS & SEPTIC AREAS. CONSTRUCTION OF THE INFILTRATION BASIN AND INFILTRATORS CANNOT OCCUR UNTIL DISTURBANCE HAS BEEN STABILIZED TO AVOID SEDIMENTATION AND COMPROMISE OF THE SOILS INFILTRATIVE CAPACITY.

SOIL DATA: PERFORMED BY ABD ENGINEERS, LLP AND WITNESSED BY TOWN OF COLONIE & ALBANY COUNTY DOH ON 9/9/17.

TEST PIT #1
0-16" TOPSOIL
16-60" COARSE BROWN SAND
WATER SEEPING @ 24"

TEST PIT #2
0-16" TOPSOIL
16-60" COARSE BROWN SAND
NO GROUNDWATER

PERC TEST #1: 1" IN 4 MINUTES @ 24" DEPTH
PERC TEST #2: 1" IN 2 MINUTES @ 30" DEPTH
PERC TEST #3: 1" IN 4 MINUTES @ 24" DEPTH

TEST PIT #3 (5/2/18)
0-16" TOPSOIL
16-60" COARSE BROWN SAND
WATER SEEPING @ 48"



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8.	OWNER CHANGES	TAG	1/28/19
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3.	TDE COMMENTS	TAG	5/14/18
2.	ACDOH COMMENTS	TAG	4/5/18
1.	TOWN & TDE COMMENTS	DK	3/19/18

ALTERATION OF THIS DOCUMENT EXCEPT BY A REGISTERED PROFESSIONAL ENGINEER IS ILLEGAL.

LUIG A. PALESCHI, P.E.
N.Y.S. LICENSE NO. 94678

OWNER/APPLICANT:
GNSAFULLI ASSOCIATES, LLC.
5850 STATE ROUTE 28
LONDONVILLE, NY 12211
TAX MAP # 18.00-4-3.2

TOWN OF COLONIE PLANNING BOARD

PRELIMINARY/FINAL
EXISTING CONDITIONS & EROSION CONTROL PLAN
OFFICE/WAREHOUSE

348 OLD NISKAYUNA ROAD

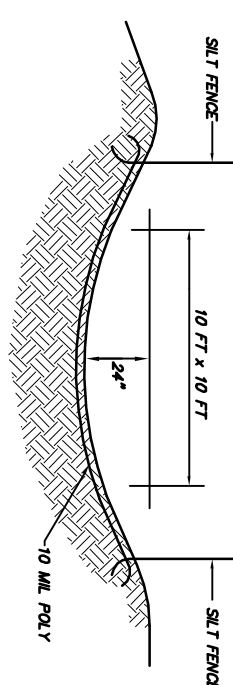
TOWN OF COLONIE COUNTY OF ALBANY STATE OF NEW YORK

ABO ENGINEERS, LLP
4111 Union Street
Schenectady, NY 12305
518-537-7401 Fax: 518-537-4079
www.aboeng.com

DATE: AUGUST 21, 2017 SCALE: 1" = 40' SHEET 3 OF 5

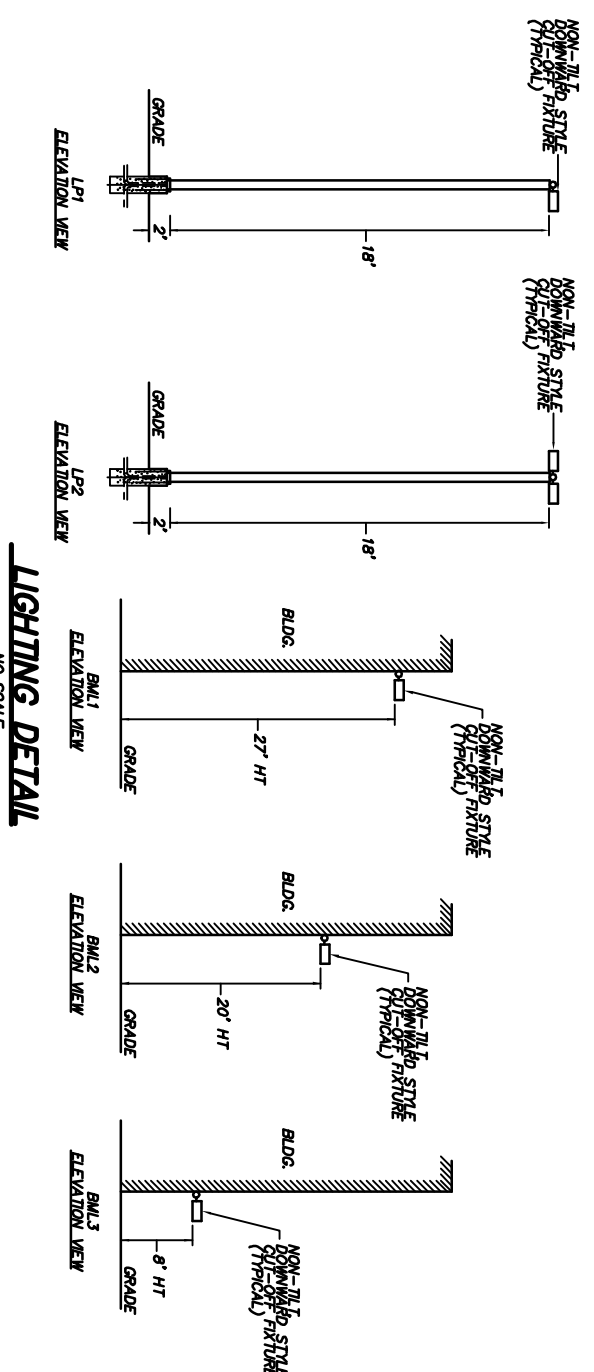
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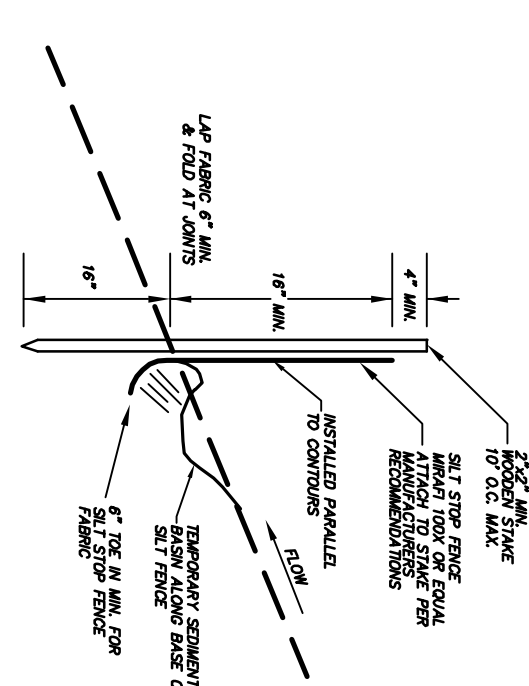


- CONCRETE WASHOUT AREAS**
1. CONCRETE SHALL BE PLACED TO EXIST GRADE TO THE FACILITY AFTER HIGH LOADS IS DEMONSTRATED.
 2. FINISH SURFACE SHALL BE A MINIMUM THICKNESS OF 12 IN. WITH NO JOINTS OR WEAK JOINTS.
 3. FINISH SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY. SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY.

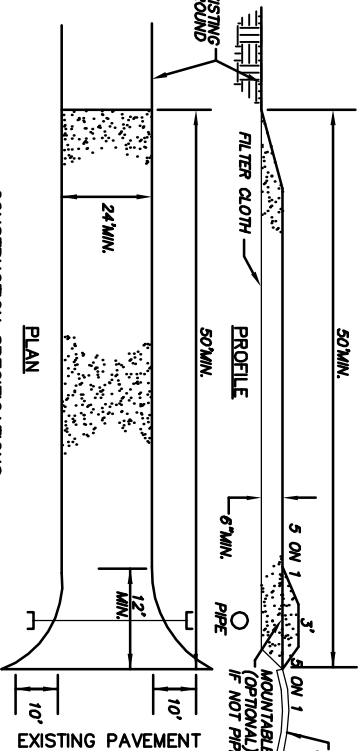
- CONCRETE WASHOUT MAINTENANCE NOTES**
1. ALL CONCRETE WASHOUT AREAS SHALL BE INSTALLED WITH 1% SLOPE TO EXISTING GRADE TO THE FACILITY AFTER HIGH LOADS IS DEMONSTRATED.
 2. FINISH SURFACE SHALL BE A MINIMUM THICKNESS OF 12 IN. WITH NO JOINTS OR WEAK JOINTS.
 3. FINISH SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY. SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY.
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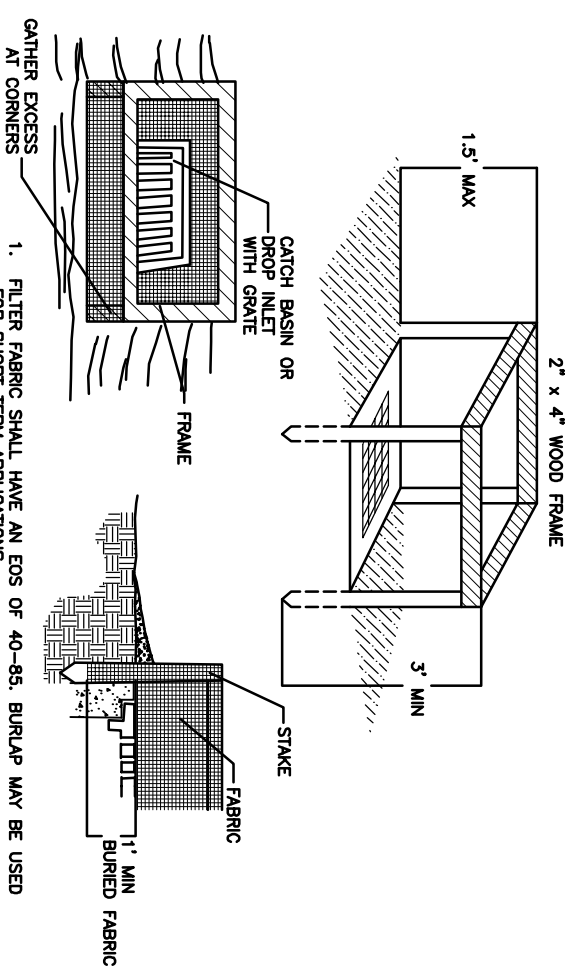
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●	2	LP1	SINGLE	N.A.	0.900	VSS-1-13-64L-1-40K-UNV-DP6-BR2-HSS
■	3	BAL2	SINGLE	N.A.	0.900	VSS-1-14-64L-1-40K-UNV-WM-BR2
■	1	LP2	SINGLE	N.A.	0.900	VSS-1-14-64L-1-40K-UNV-DP6-BR2-HSS
■	1	BAL3	SINGLE	N.A.	0.900	VSS-2-14-96L-1-40K-UNV-WM-BR2
■	1	LP3	SINGLE	N.A.	0.900	VSS-1-15-64L-7-40K-UNV-DP6-BR2
■	6	BAL4	SINGLE	N.A.	0.900	VMMH-110-840-1L-BR2-SOUL-DIM-UNV



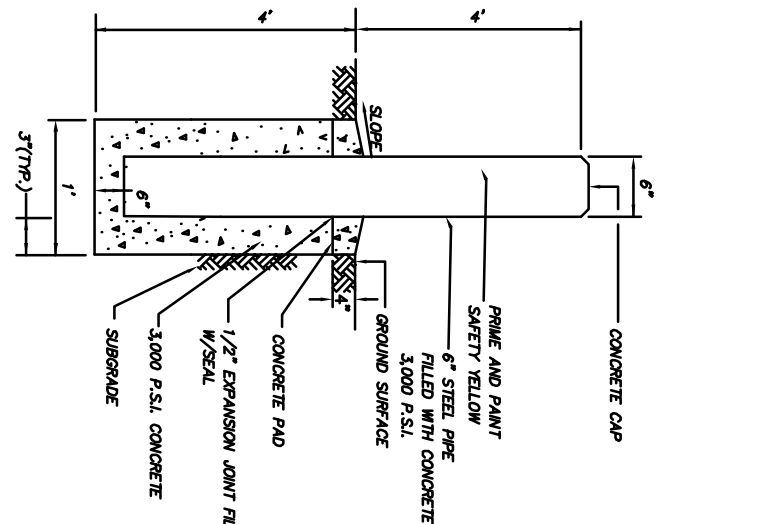
- CONSTRUCTION SPECIFICATIONS**
1. SLOPE SHALL BE FINISHED TO EXIST GRADE TO THE FACILITY AFTER HIGH LOADS IS DEMONSTRATED.
 2. FINISH SURFACE SHALL BE A MINIMUM THICKNESS OF 12 IN. WITH NO JOINTS OR WEAK JOINTS.
 3. FINISH SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY. SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY.
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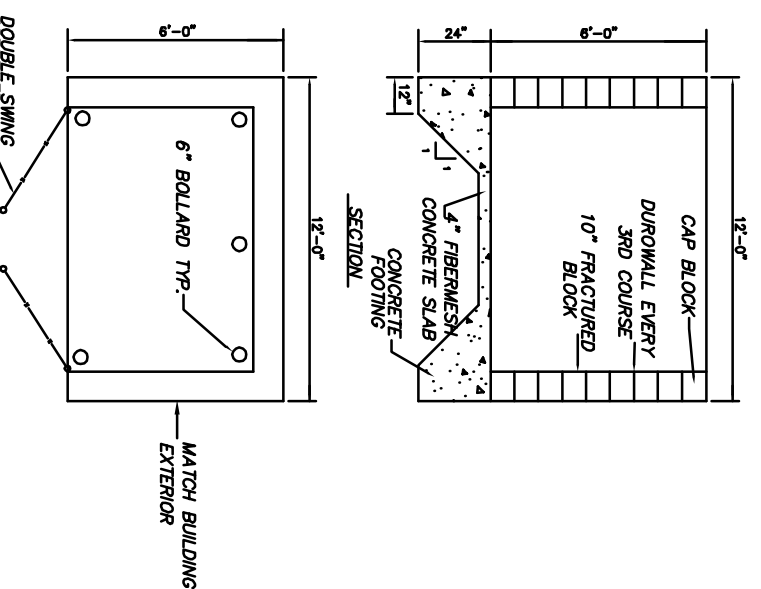
- CONSTRUCTION SPECIFICATIONS**
1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE FINISHED TO EXIST GRADE TO THE FACILITY AFTER HIGH LOADS IS DEMONSTRATED.
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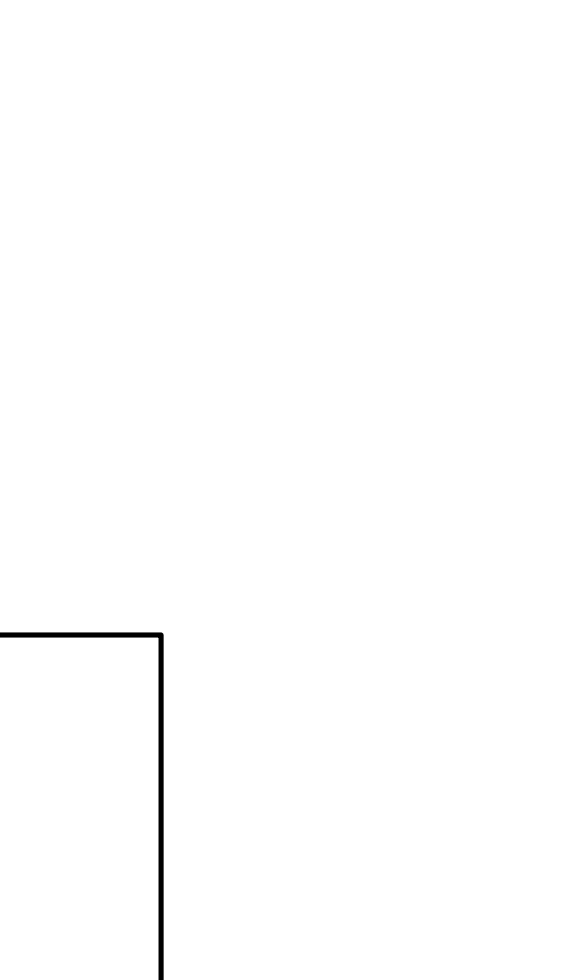
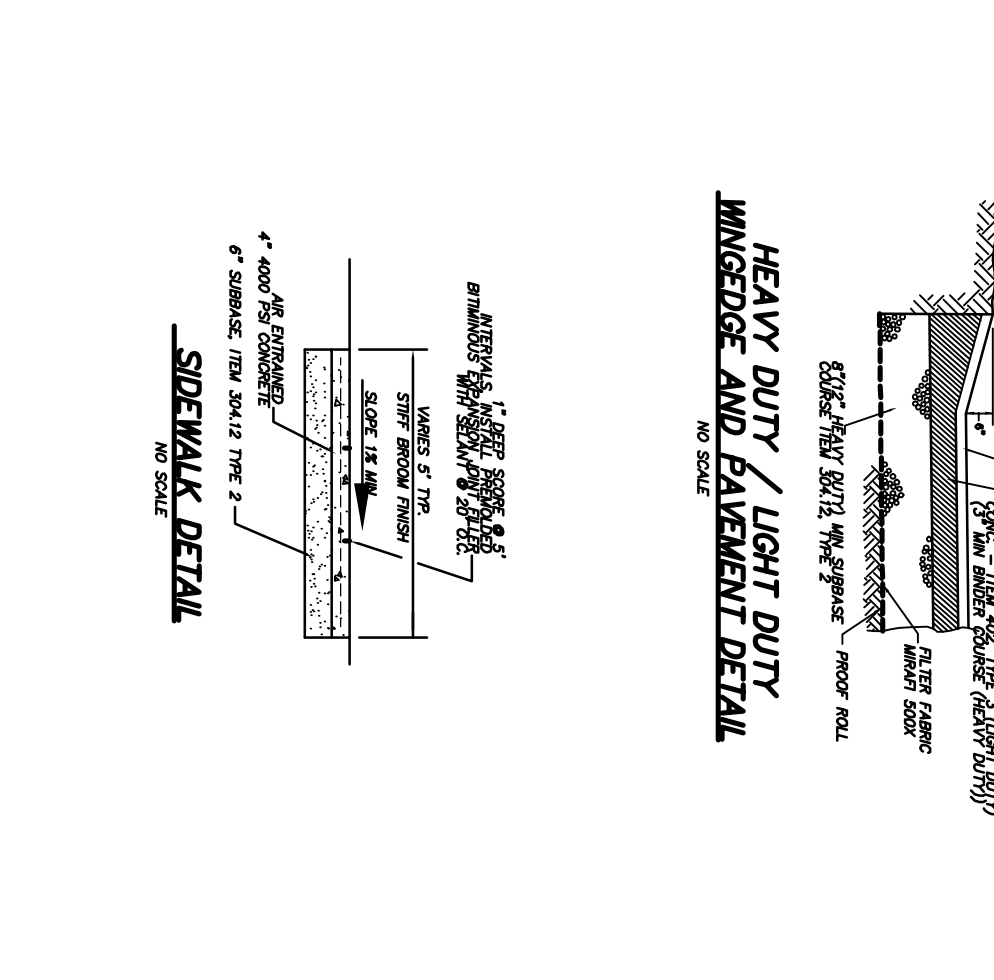
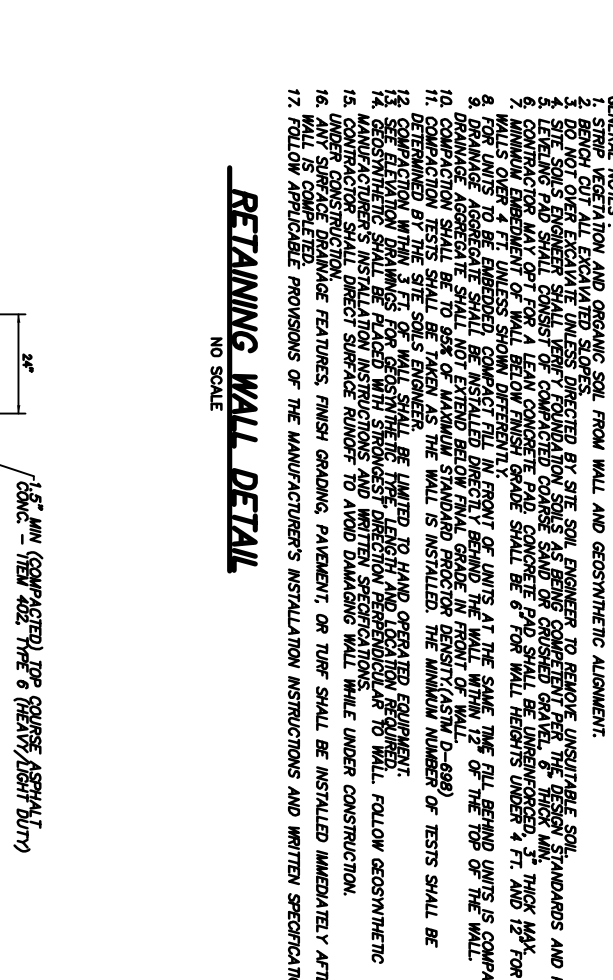
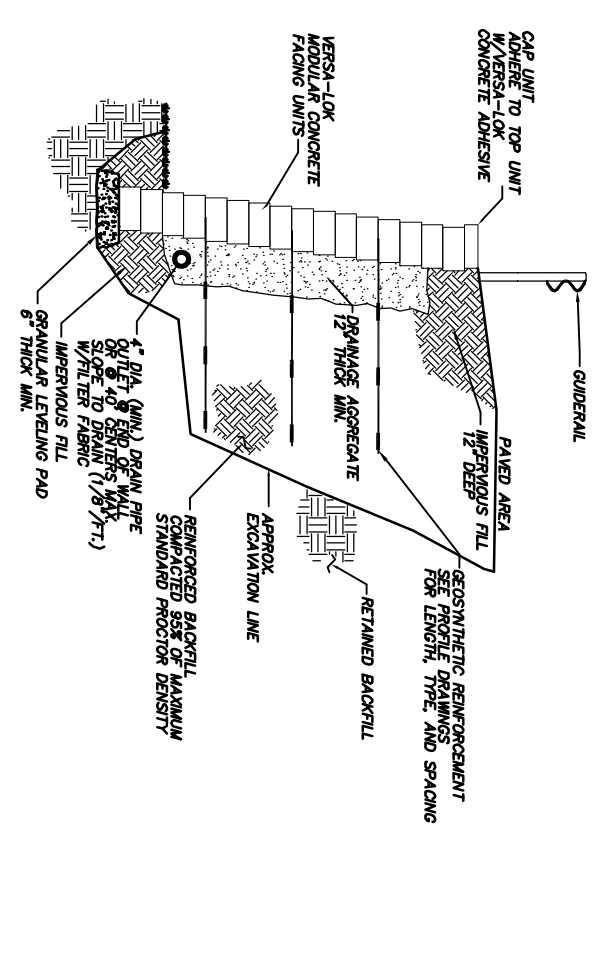
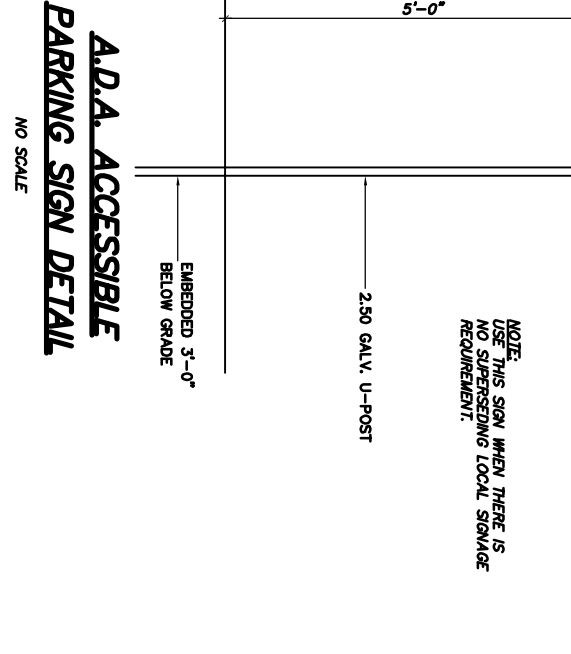
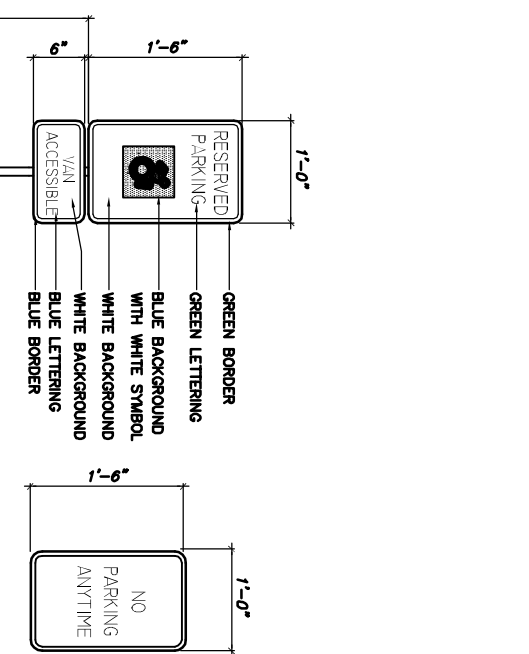
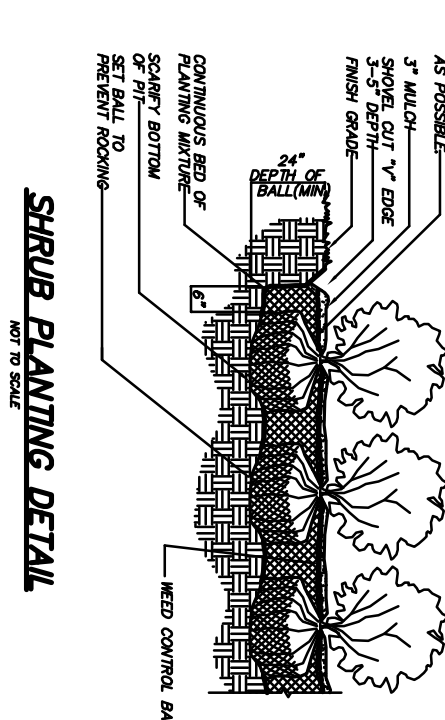
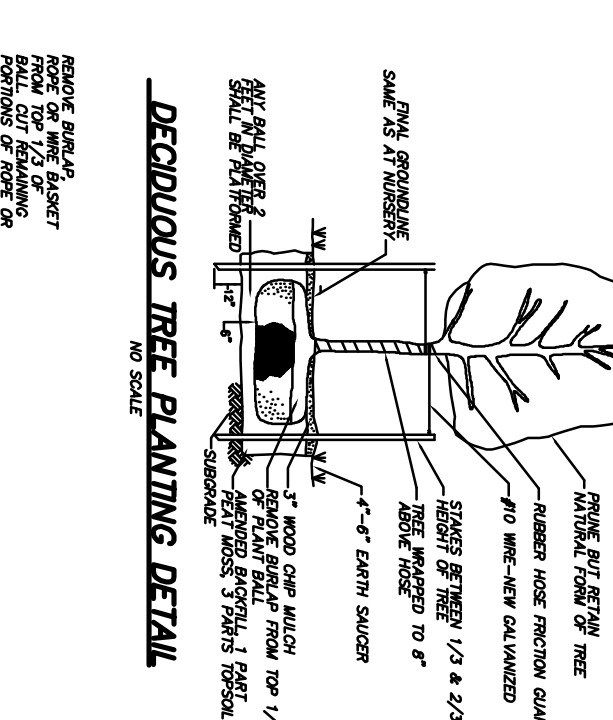
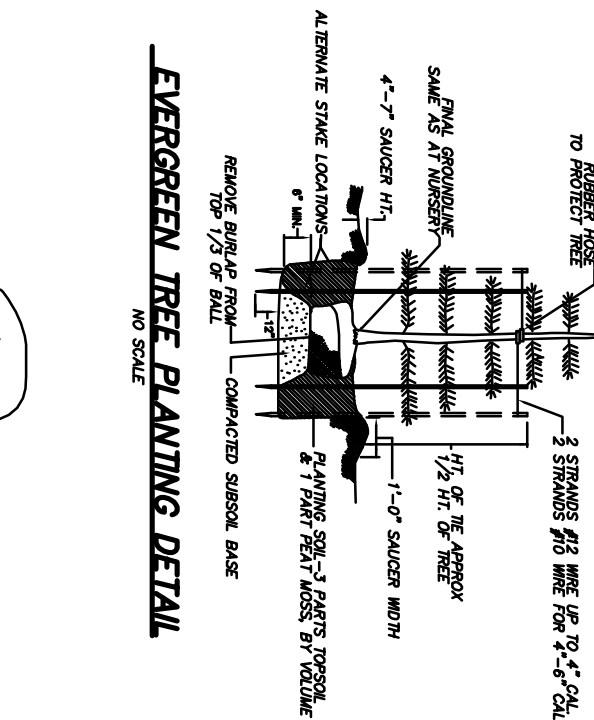
- CONSTRUCTION SPECIFICATIONS**
1. FILTER FABRIC SHALL HAVE AN EGT OF 40-50. BURLAP MAY BE USED.
 2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. JOINTS SHALL BE OVERLAPPED BY 6" MINIMUM.
 3. STAKE MATERIALS SHALL BE STANDARD 2"x4" WOOD OR EQUIVALENT METAL.
 4. STAKE SPACING SHALL BE 3 FEET.
 5. FILTER FABRIC SHALL BE INSTALLED WITH THE FABRIC OVER THE DRAINAGE CHANNEL.
 6. FILTER FABRIC SHALL BE INSTALLED WITH THE FABRIC OVER THE DRAINAGE CHANNEL.



- CONSTRUCTION SPECIFICATIONS**
1. PIPE BOLLARD SHALL BE FINISHED TO EXIST GRADE TO THE FACILITY AFTER HIGH LOADS IS DEMONSTRATED.
 2. FINISH SURFACE SHALL BE A MINIMUM THICKNESS OF 12 IN. WITH NO JOINTS OR WEAK JOINTS.
 3. FINISH SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY. SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY.
 4. THE FINISH SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY.
 5. FINISH SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY.



- CONSTRUCTION SPECIFICATIONS**
1. CONCRETE BLOCK DUMPSTER ENCLOSURE SHALL BE FINISHED TO EXIST GRADE TO THE FACILITY AFTER HIGH LOADS IS DEMONSTRATED.
 2. FINISH SURFACE SHALL BE A MINIMUM THICKNESS OF 12 IN. WITH NO JOINTS OR WEAK JOINTS.
 3. FINISH SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY. SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY.
 4. THE FINISH SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY.
 5. FINISH SURFACE SHALL BE FINISHED TO MATCH EXISTING SURFACE TO THE FACILITY.



NO.	REVISION	BY	DATE
8.	OWNER CHANGES	TAG	1/28/19
7.	TOWN & TDE COMMENTS	DK	10/29/18
6.	TDE COMMENTS	TAG	9/11/18
5.	TOWN & TDE COMMENTS	TAG	8/20/18
4.	OWNER CHANGES	DK	7/31/18
3.	TDE COMMENTS	TAG	5/14/18
2.	ACDOH COMMENTS	TAG	4/5/18
1.	TOWN & TDE COMMENTS	DK	3/19/18

ALTERATION OF THIS DOCUMENT EXCEPT BY A REGISTERED PROFESSIONAL ENGINEER IS ILLEGAL.

LUIG A. PALESCHI, P.E.
N.Y.S. LICENSE NO. 94678

OWNER/APPLICANT:
GRS/FULLI ASSOCIATES, LLC
1000 W. SHAWAN ROAD
LUDLOWVILLE, NY 12211
TAX MAP # 18.00-4-3.2

TOWN OF COLONIE PLANNING BOARD

PRELIMINARY/FINAL SITE DETAILS

OFFICE/WAREHOUSE

348 OLD NISKAYUNA ROAD

TOWN OF COLONIE COUNTY OF ALBANY

STATE OF NEW YORK

ENGINEERS, LLP

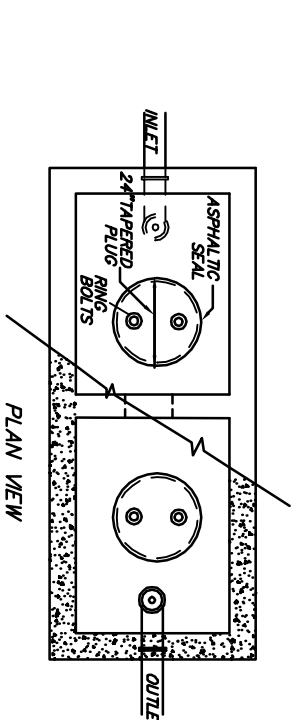
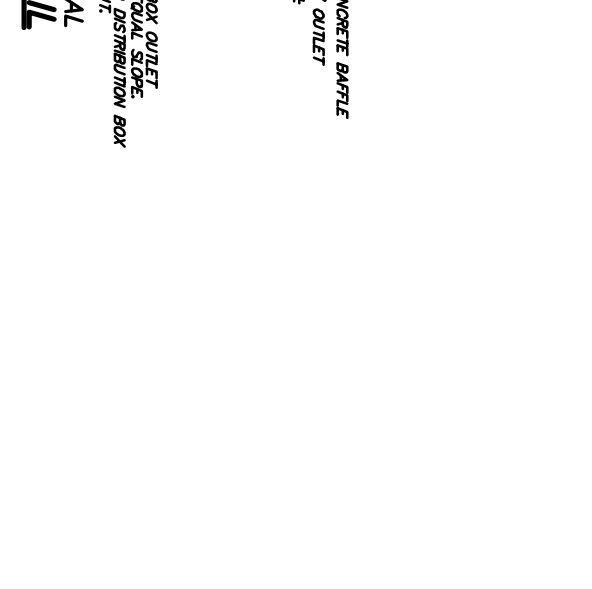
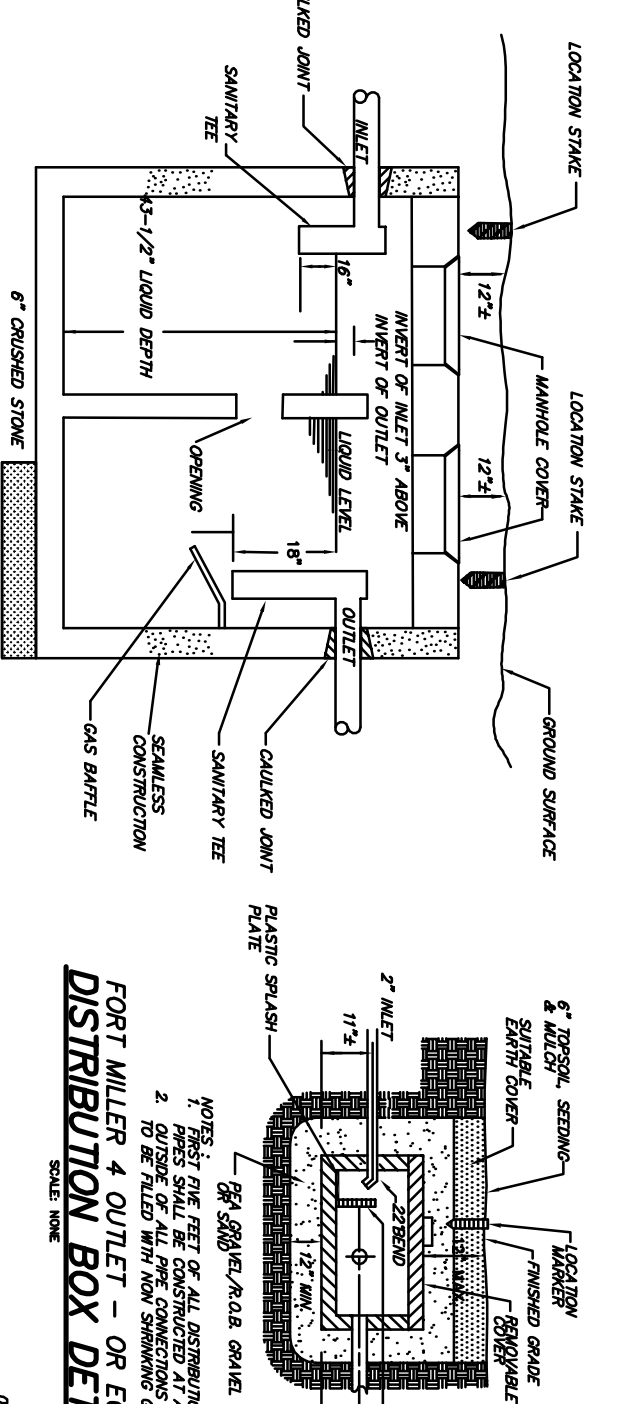
411 Union Street
Schenectady, NY 12305
518-377-4031 Fax 518-377-4079
www.rndeng.com

DATE: AUGUST 21, 2017

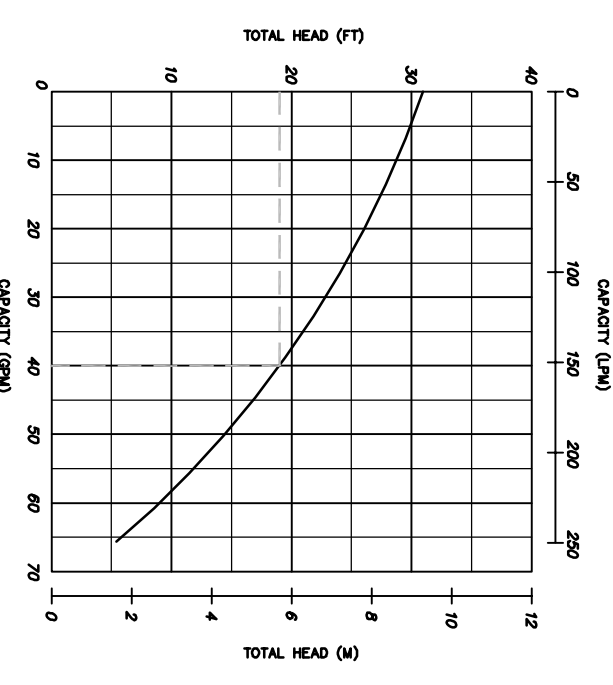
SCALE: 1" = 40'

DWG. 4841A-533

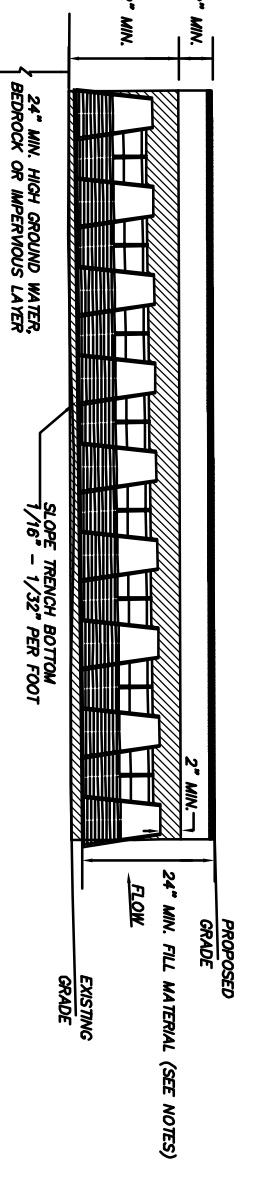
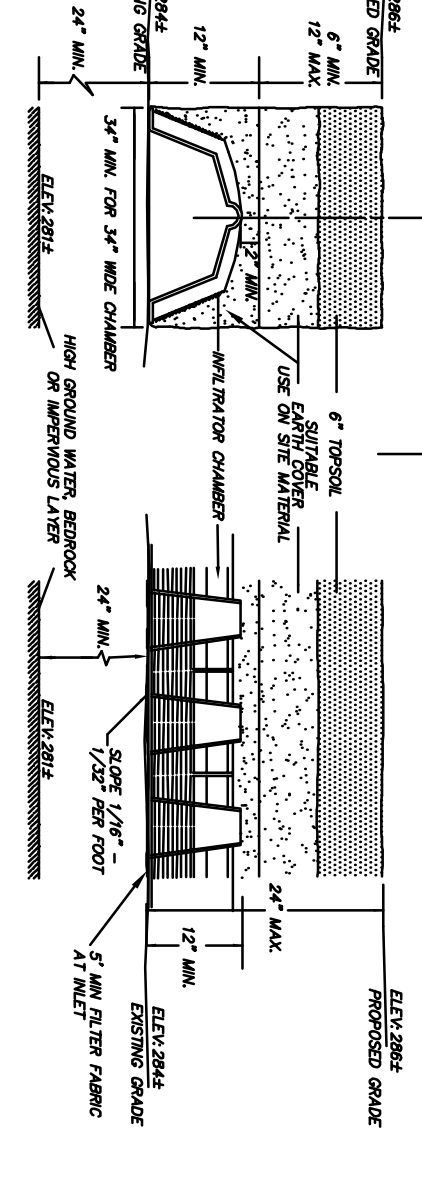
SHEET 4 OF 5



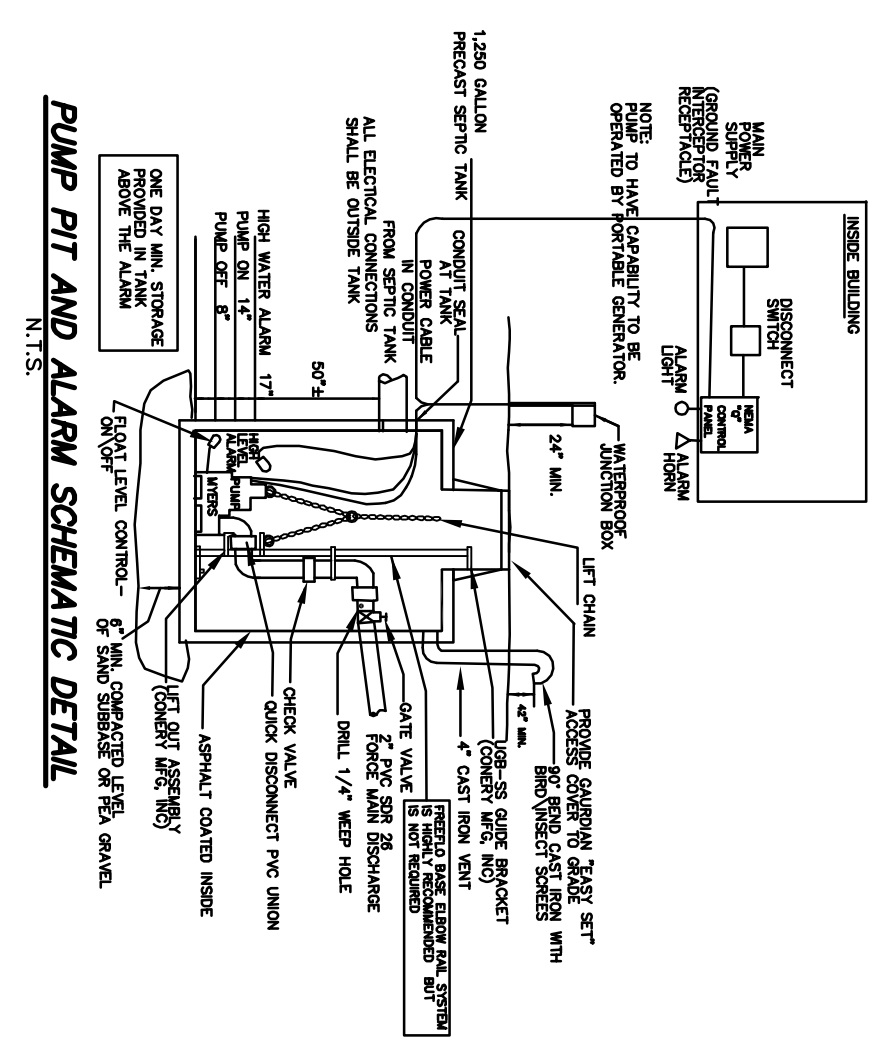
GUARDIAN 1,500 GAL. SEPTIC TANK
PRECAST CONCRETE SEPTIC TANK DETAIL
NO SCALE



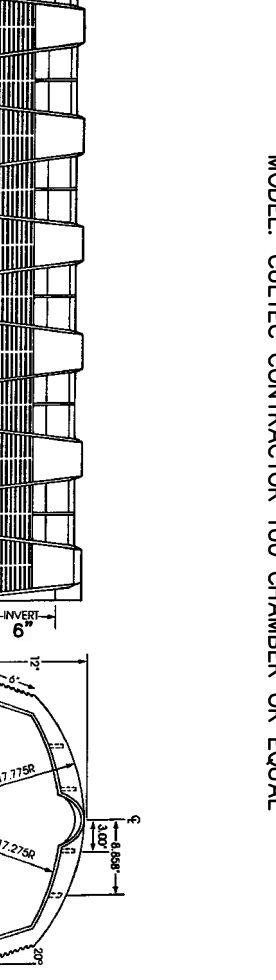
MYERS MEET PERFORMANCE CURVE



TYPICAL INFL TRATOR ABSORPTION TRENCH DETAIL
NO SCALE



PUMP PIT AND ALARM SCHEMATIC DETAIL
N.T.S.



STANDARD INFILTRATOR CHAMBER
MODEL: CULT-TEC CONTRACTOR 100 CHAMBER OR EQUAL
SIZE: 92"X36"X12.5"
THE STANDARD INFILTRATOR CHAMBER
NO SCALE

SHALLOW TRENCH WASTEWATER DISPOSAL SYSTEM REQUIREMENTS

SEPTIC DESIGN :

DESIGN PARAMETERS :

NUMBER OF EMPLOYEES	50
DESIGN FLOW RATE	15 GPD/EMPLOYEE
TOTAL DESIGN FLOW	750 GPD
DESIGN TRENCH WIDTH	2.0 FT.
PERCOLATION RATE	1" / 3 MINUTES AT 24"
DESIGN RATE	1" / 10 MINUTES

DESIGN :

APPLICATION RATE

AREA REQUIRED	0.9 GPD/S.F.
TRENCH LENGTH REQ'D	833 S.F. (417 X 0.75)
NUMBER OF TRENCHES	4 @ 80' ALLOWABLE INFILTRATOR REDUCTION
TOTAL TRENCH LENGTH PROVIDED	320 L.F.

SOIL DATA, OBTAINED BY AGD ENGINEERS LLP AND WITNESSED BY TOWN OF COLONIE & ALBANY COUNTY DOH ON 6/9/17.

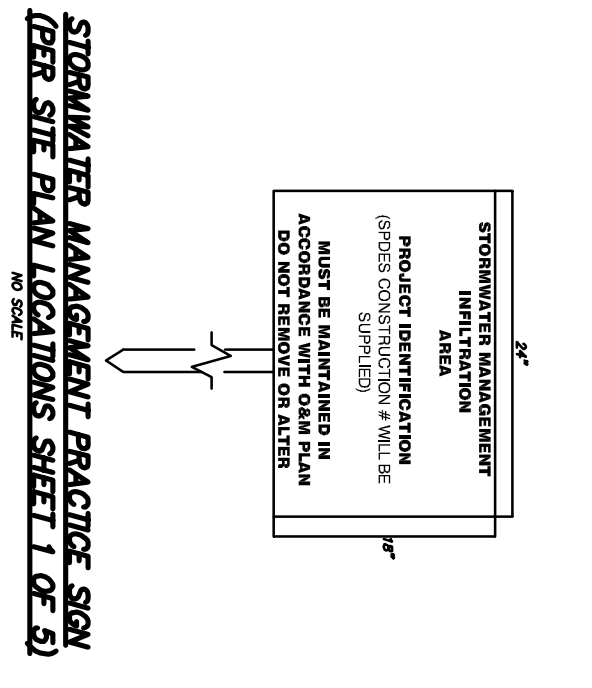
TEST PIT #1
0'-16" TOPSOIL
16"-60" COARSE BROWN SAND
MOTTLING @ 24"
WATER SEEPING @ 60"

TEST PIT #2
0'-15" TOPSOIL
15"-60" COARSE BROWN SAND
MOTTLING @ 38"
NO GROUNDWATER

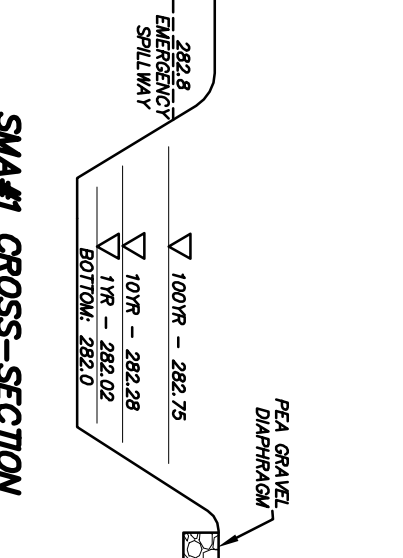
PERC TEST #1: 1" IN 4 MINUTES @ 24" DEPTH
PERC TEST #2: 1" IN 2 MINUTES @ 30" DEPTH

CONSTRUCTION INSPECTION

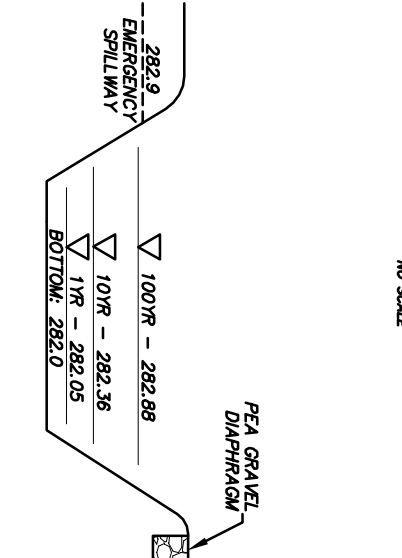
1. THE TRENCH WIDTH SHALL BE 24" TO 30" TO ALLOW PROPER INSTALLATION AND TO ALLOW FOR THE TRENCH TO BE FILLED WITH SAND.
2. THE TRENCH SHALL BE FILLED WITH SAND TO THE TOP OF THE TRENCH.
3. THE SAND SHALL BE COMPACTED TO THE TRENCH WALLS AND BOTTOM.
4. THE SAND SHALL BE FRESH AND FREE OF CLAY, ROCK, AND OTHER FOREIGN MATTER.
5. THE SAND SHALL BE TESTED TO THE PERCOLATION RATE.
6. THE SAND SHALL BE TESTED TO THE WATER SEEPING RATE.
7. THE SAND SHALL BE TESTED TO THE MOTTLING.
8. THE SAND SHALL BE TESTED TO THE WATER SEEPING RATE.
9. THE SAND SHALL BE TESTED TO THE PERCOLATION RATE.
10. THE SAND SHALL BE TESTED TO THE WATER SEEPING RATE.



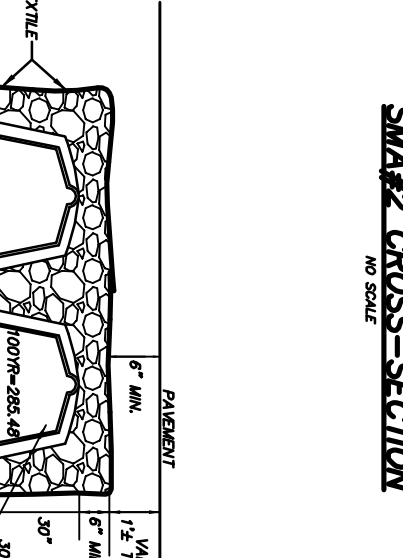
STORMWATER MANAGEMENT PRACTICE SIGN
(PER SITE PLAN LOCATIONS SHEET 1 OF 5)
NO SCALE



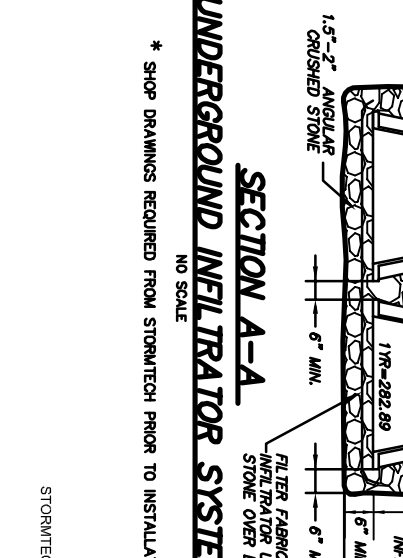
SMALL CROSS-SECTION
NO SCALE



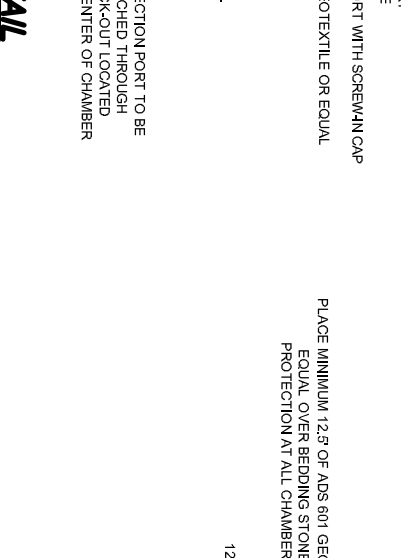
SMALL CROSS-SECTION
NO SCALE



SECTION A-A
UNDERGROUND INFILTRATOR SYSTEM
* SEE DRAWING REQUIRED FROM STORMWATER PRACTICE TO INSTALLATION



INSPECTION PORT DETAIL
UNDERGROUND INFILTRATOR SYSTEM
NO SCALE



TYPICAL PLAN VIEW
UNDERGROUND INFILTRATOR SYSTEM
NO SCALE

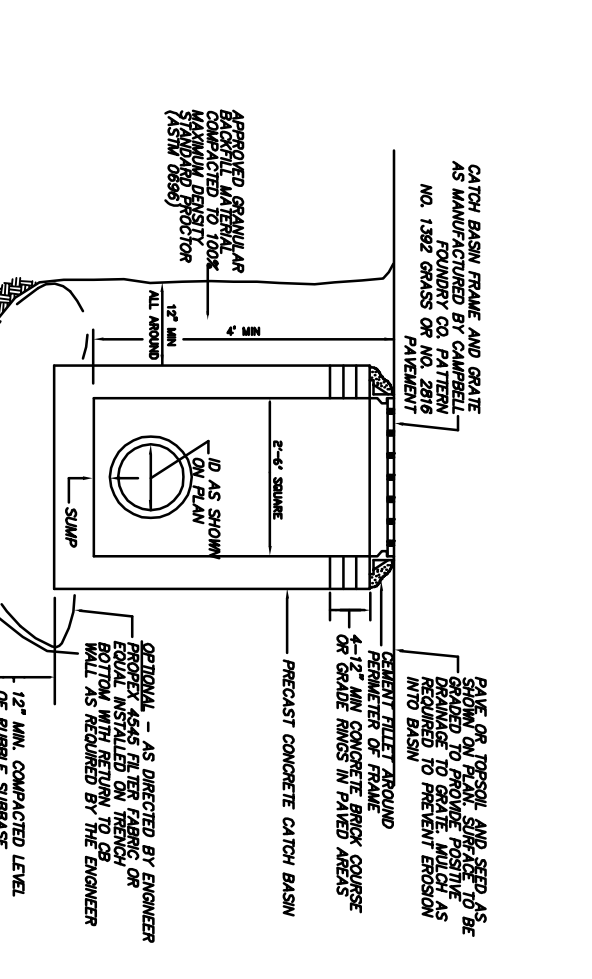


VERTICAL SEPARATIONS
WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL & VERTICAL SEPARATIONS AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED:

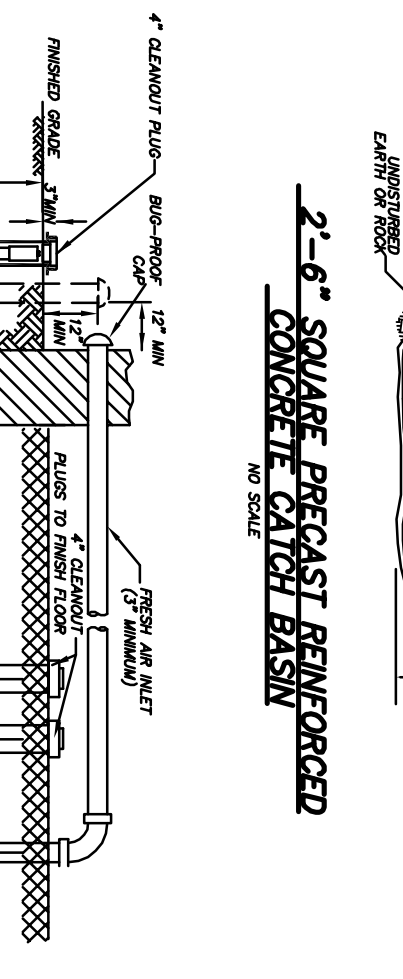
- 1) THE SEPER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER PIPE, AND SHALL BE PROTECTED BY 1\"/>
- 2) EITHER THE WATER MAIN OR THE SEPER LINE MAY BE ENCASED IN A WATER TIGHT CONCRETE PIPE WITH A MINIMUM WALL THICKNESS OF 4\"/>

CONSTRUCTION INSPECTION

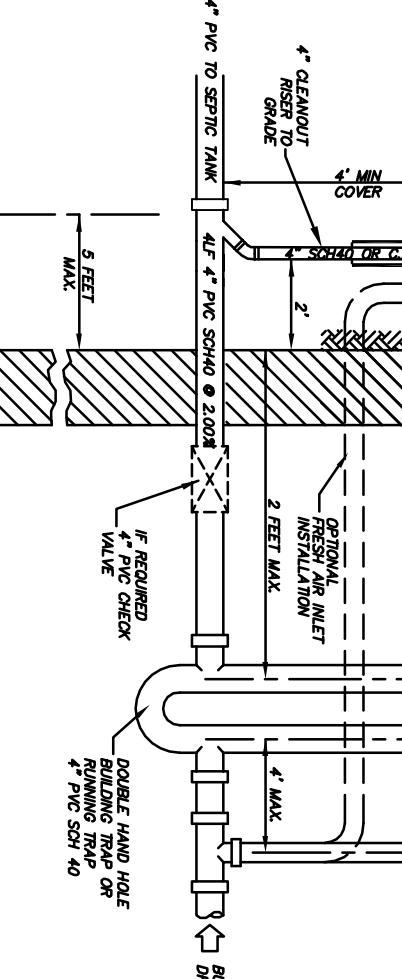
1. THE TRENCH WIDTH SHALL BE 24" TO 30" TO ALLOW PROPER INSTALLATION AND TO ALLOW FOR THE TRENCH TO BE FILLED WITH SAND.
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7. THE SAND SHALL BE TESTED TO THE MOTTLING.
8. THE SAND SHALL BE TESTED TO THE WATER SEEPING RATE.
9. THE SAND SHALL BE TESTED TO THE PERCOLATION RATE.
10. THE SAND SHALL BE TESTED TO THE WATER SEEPING RATE.



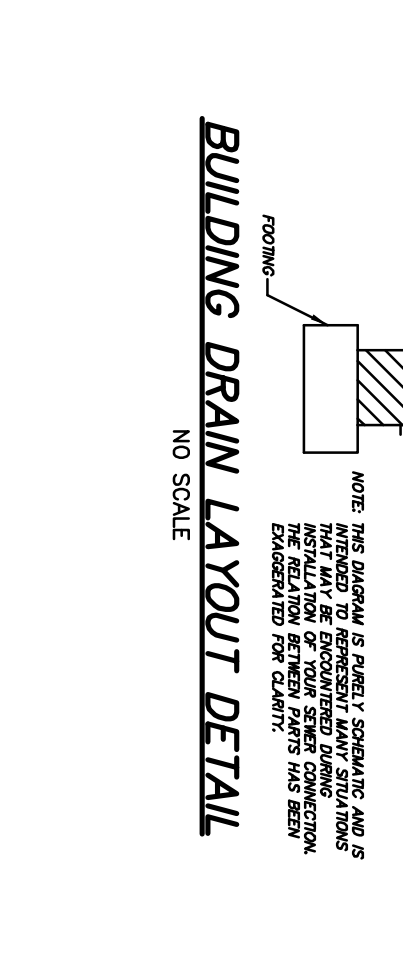
2-6" SQUARE PRECAST REINFORCED CONCRETE CATCH BASIN
NO SCALE



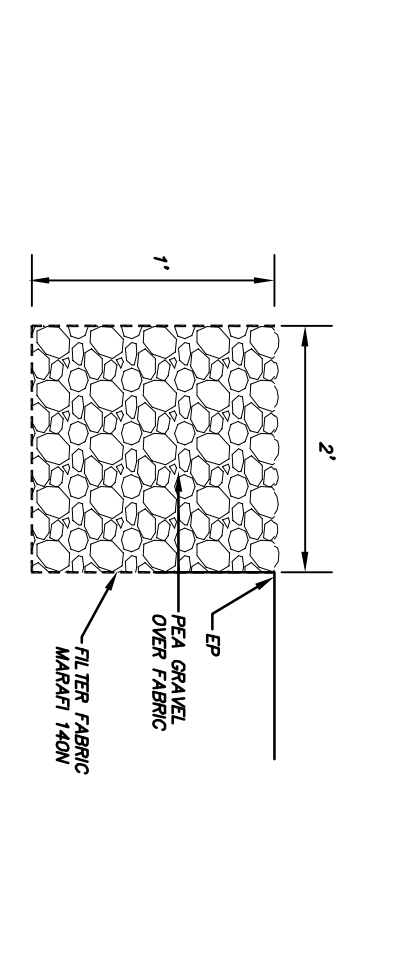
BUILDING DRAIN LAYOUT DETAIL
NO SCALE



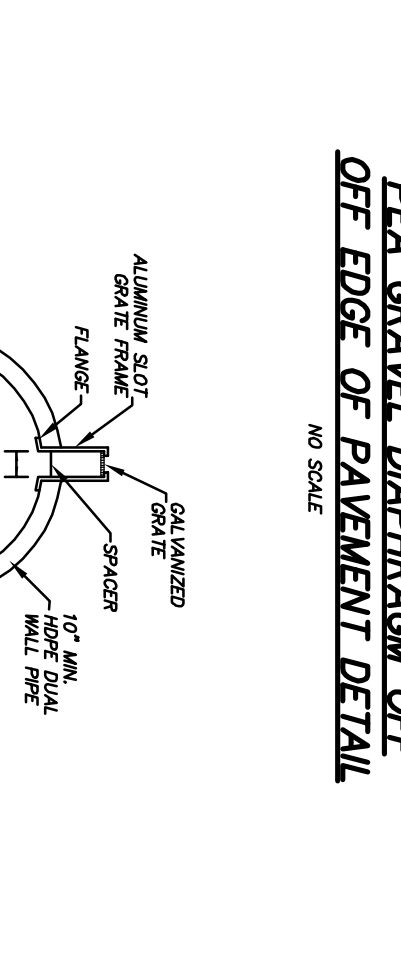
HYDRANT INSTALLATION DETAIL
NO SCALE



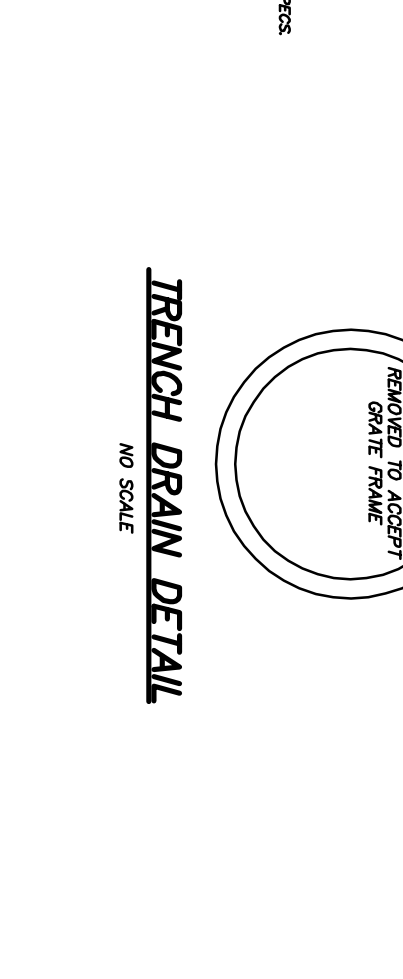
WATER CUT IN CONNECTION DETAIL W/ ANCHOR TEE
NO SCALE



PEA GRAVEL DIAPHRAGM OFF OF EDGE OF PAVEMENT DETAIL
NO SCALE



TRENCH DRAIN DETAIL
NO SCALE



TYPICAL TRENCH SECTION FOR SANITARY SEWER, STORM SEWER & WATER
NO SCALE

8.	OWNER CHANGES	TAG	1/28/19
7.	TOWN & TDE COMMENTS	DK	10/29/18
6.	TDE COMMENTS	TAG	9/11/18
5.	TOWN & TDE COMMENTS	TAG	8/20/18
4.	OWNER CHANGES	DK	7/31/18
3.	TDE COMMENTS	TAG	5/14/18
2.	ACDOH COMMENTS	TAG	4/5/18
1.	TOWN & TDE COMMENTS	DK	3/16/18
NO.	REVISION	BY	DATE

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ENGINEER IS LIABLE.

LUIGI A. PALTESCHI, P.E.
N.Y.S. LICENSE NO. 94678

OWNER/APPLICANT:
GRISFILLI ASSOCIATES, LLC.
SHERBOURNE, NY 12150
120 DUNDONVILLE, NY 12211
TAX MAP # 18100-4-3.2

TOWN OF COLONIE PLANNING BOARD

PRELIMINARY/FINAL UTILITY DETAILS

OFFICE/WAREHOUSE

348 OLD NISKAYUNA ROAD
TOWN OF COLONIE, NY 12150

ENGINEERS, LLP
411 Union Street
Schenectady, NY 12310
518-577-4031 Fax 518-577-4039
www.dabeng.com

DATE: AUGUST 21, 2017
SCALE: 1" = 40'
DWG: 4841A-533
SHEET 5 OF 5